

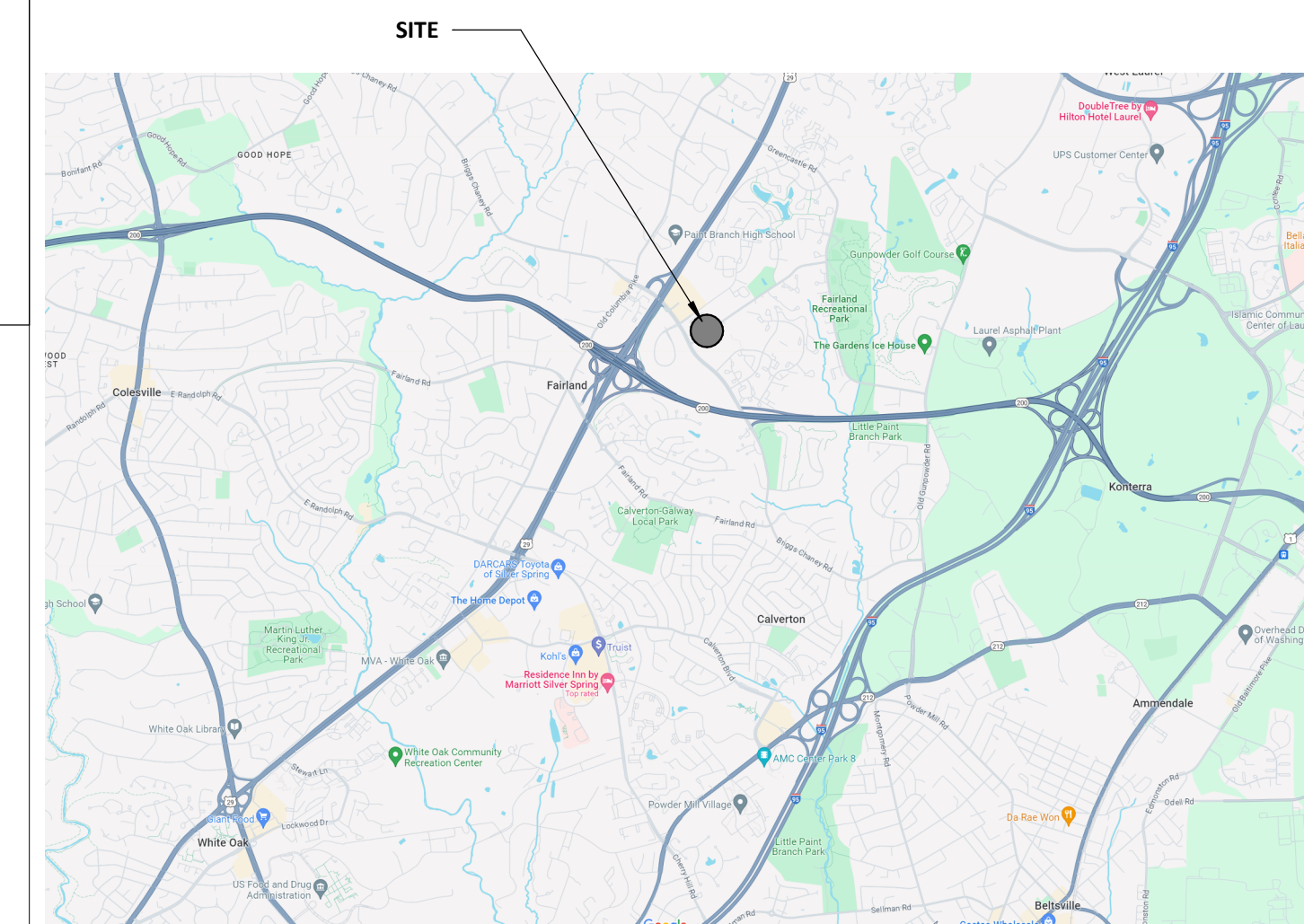
# GREENCASTLE ELEMENTARY SCHOOL

## ELEVATOR MODERNIZATION

13611 ROBEY RD,  
SILVER SPRING, MD 20904

BID SET ISSUE  
3.4.2024

### VICINITY MAP



### DRAWING LIST

GENERAL	G000 COVER SHEET
	G001 GENERAL NOTES, CODE ANALYSIS, AND ADA DETAILS
ARCHITECTURAL	A101 DEMO AND PROPOSED FLOOR PLANS
	A102 ELEVATOR DETAILS
MECHANICAL	M001 SPECIFICATIONS, SYMBOLS AND ABBREVIATIONS
	M100 ELEVATOR - DEMO AND NEW WORK PLANS
	M300 SCHEDULES AND DETAILS
ELECTRICAL	E001 SPECIFICATIONS, SYMBOLS AND ABBREVIATIONS
	E002 ELEVATOR - DEMO AND NEW WORK FLOOR PLANS
	E004 PANEL SCHEDULES



107A W EDMONSTON DRIVE  
ROCKVILLE, MD 20852  
(P) 301-605-7005  
(C) 301-404-0449



DIVISION OF CONSTRUCTION  
45 W. GUDE DRIVE, 4<sup>th</sup> FLOOR  
ROCKVILLE, MD 20850

MECHANICAL / PLUMBING / ELECTRICAL ENGINEER  
GTA CONSULTING ENGINEERS, INC  
220 NORTH ADAMS ST  
ROCKVILLE, MD 20850  
(P) 301-762-7172

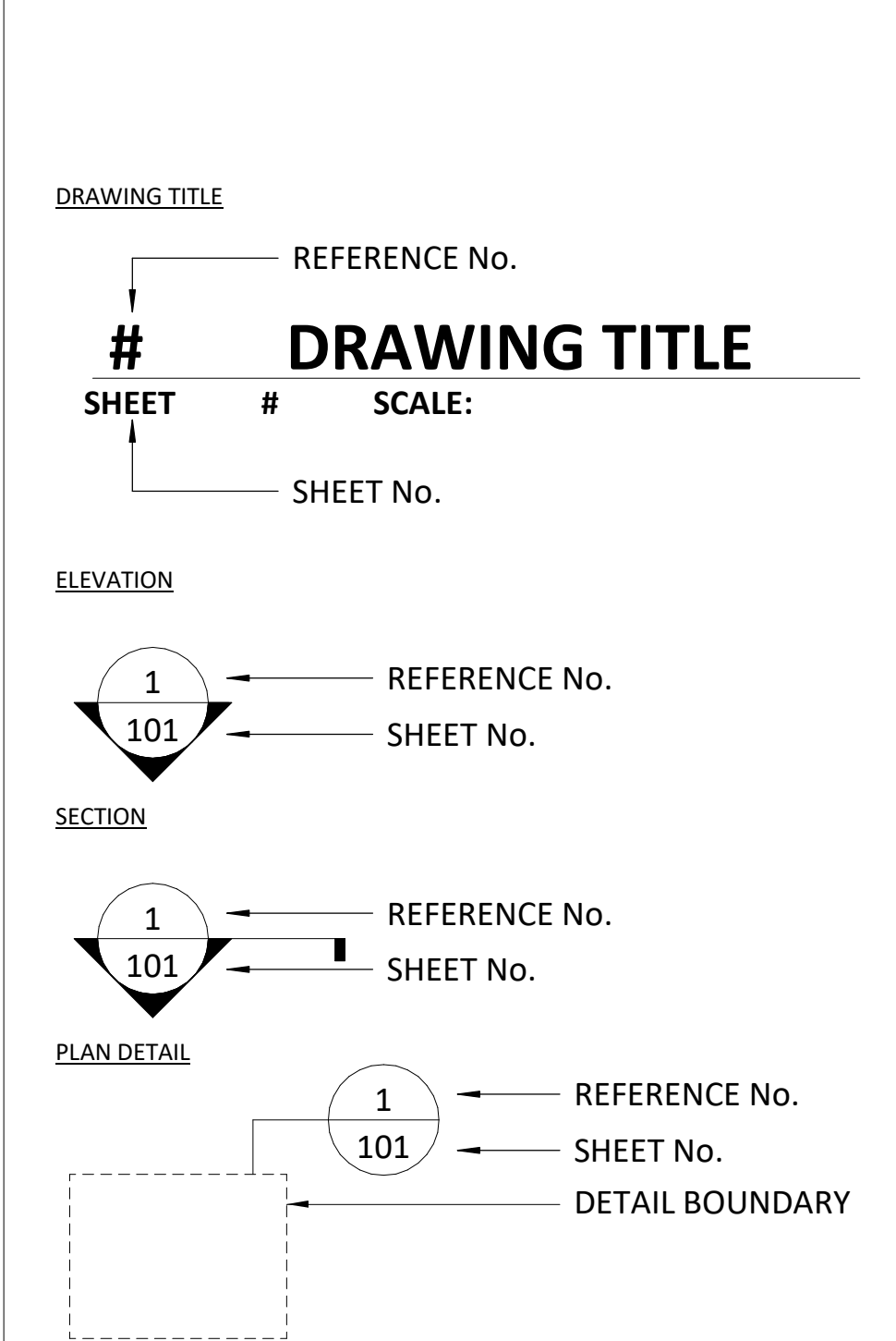
CERTIFICATION BLOCK  
I certify that these documents were prepared and approved by me, and that I am a duly licensed architect under the laws of the State of Maryland  
License Number: 13183  
Expiration Date: July 12, 2024

### ABBREVIATIONS

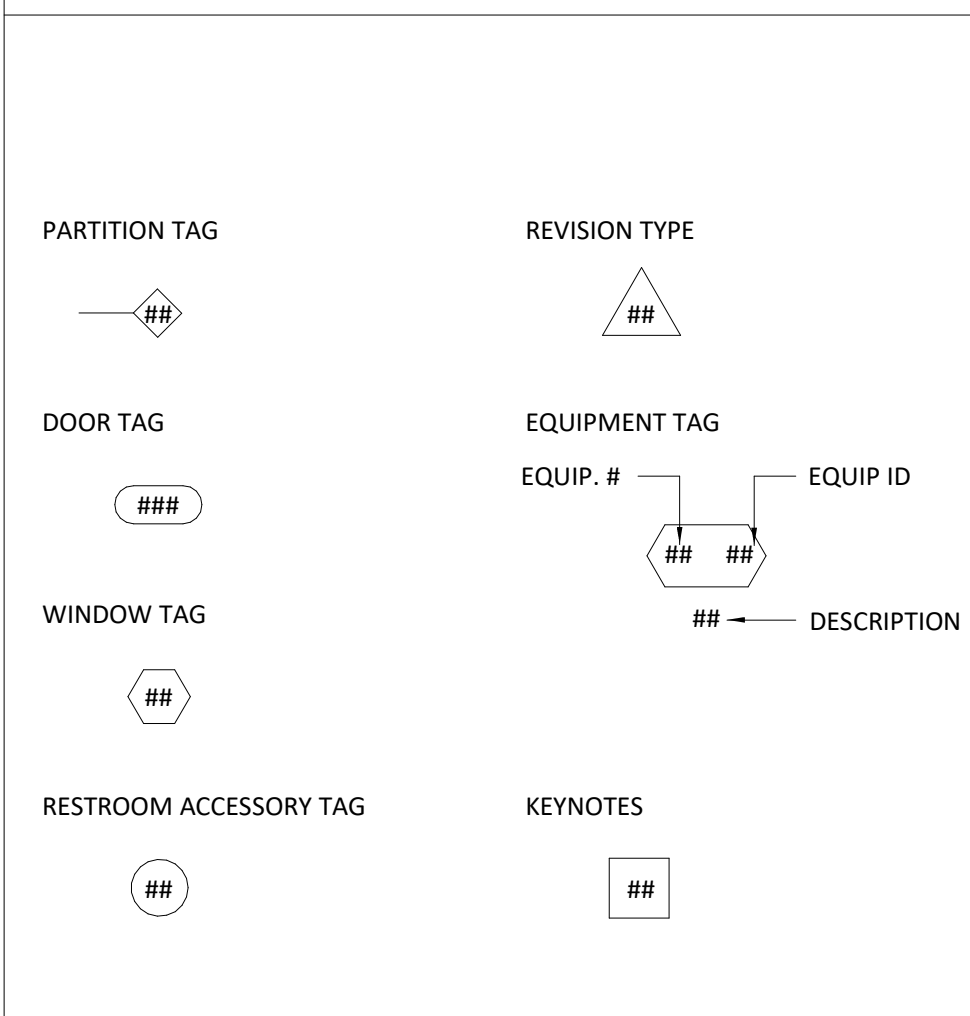
NOTE: ABBREVIATIONS ARE GENERAL AND MAY NOT BE APPLICABLE TO THIS PROJECT.

ABV	ABOVE	MAS	MASONRY
ADA	AMERICANS w/ DISABILITY ACT	MAX	MAXIMUM
ADJ	ADJUSTABLE	MECH	MECHANICAL
A.F.F.	ABOVE FINISH FLOOR	MFR	MANUFACTURER
A.F.G.	ABOVE FINISH GRADE	MIN	MINIMUM
ALT	ALTERNATE	MISC	MISCELLANEOUS
ALUM	ALUMINUM	M.O.	MASONRY OPENING
AMP	AMPERE	MTD	MOUNTED
APPROX	APPROXIMATELY	MTL	METAL
		MWK	MILLWORK
BD	BOARD	N	NORTH
BLDG	BUILDING	N.I.C.	NOT IN CONTRACT
BM	BEAM	NGM	NOMINAL
B.O.F.	BOTTOM OF FRAMING	N.T.S.	NOT TO SCALE
BTM	BOTTOM	O.C.	ON CENTER
B.T.U.	BRITISH THERMAL UNIT	O.D.	OUTSIDE DIAMETER
BTW	BETWEEN	O.H.	OPPOSITE HAND
BU	BUILT-UP	OPNG	OPENING
		OPP	OPPOSITE
CFM	CUBIC FEET PER MINUTE	PG	PAINT GRADE
		P.L.	PROPERTY LINE
CLG	CEILING	PLAM	PLASTIC LAMINATE
CLOS	CLOSET	PLUM	PLUMBING
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PT WD	PRESSURE TREATED WOOD
CT	CERAMIC TILE	PTD	PAINTED
		QTY	QUANTITY
DBL	DOUBLE	R	RISER
DIA	DIAMETER	RAD	RADIUS
DIM	DIMENSION	RE:	REFERENCE
DN	DOWN	REF	REFRIGERATOR
DR	DOOR	REINF	REINFORCING
DS	DOWNSPOUT	REQD	REQUIRED
DW	DISHWASHER	RM	ROOM
DWG	DRAWING	R.O.	ROUGH OPENING
		R.O.W.	RIGHT OF WAY
E	EAST	S	SOUTH
EA	EACH	SCHED	SCHEDULE
E.J.	EXPANSION JOINT	SECT	SECTION
ELEV	ELEVATION	SF	SQUARE FEET
ELEC	ELECTRIC	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SPEC	SPECIFICATION
EWC	ELECTRIC WATER COOLER	SQ	SQUARE
EXT	EXTERIOR	SS	SANITARY SINK
		SST	STAINLESS STEEL
FA	FIRE ALARM	ST	STREET
FD	FLOOR DRAIN	STD	STANDARD
FE	FIRE EXTINGUISHER	STL	STEEL
FEC	FIRE EXTINGUISHER CABINET	SY	SYMBOL
FHV	FIRE HOSE VALVE	SYM	SYMMETRICAL
FHVC	FIRE HOSE VALVE CABINET	T	TREAD
F.F.	FINISH FLOOR	T&G	TONGUE & GROOVE
FLUOR	FLUORESCENT	TEL	TELEPHONE
FT	FEET (FOOT)	THK	THICK
FTG	FOOTING	T.O.C	TOP OF CONCRETE/ CURB
		T.O.D	TOP OF DECK
		T.O.F	TOP OF FOUNDATION
		T.O.S.	TOP OF SLAB
		T.O.W.	TOP OF WALL
		TS	TUBE STEEL
		TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	V	VOLTS
GAL	GALLON	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GFI	GROUND FAULT INTERRUPTER	VIF	VERIFY IN FIELD
GL	GLASS	VVC	VINYL WALL COVERING
GND	GROUND	W	WEST
GWB	GYPSUM WALL BOARD	W/	WITHOUT
GYP	GYPSUM	WC	WATER CLOSET
		WD	WOOD
HB	HOSE BIB	WF	WATER FOUNTAIN
HC	HANDICAPPED	WS	WET STACK
HDWD	HARDWOOD	WT	WEIGHT
HDWR	HARDWARE	YD	YARD
HM	HOLLOW METAL		
HR	HOUR		
HT	HEIGHT		
IN	INCH		
INSUL	INSULATION		
INT	INTERIOR		
JAN	JANITOR		
JST	JOIST		
JT	JOINT		
LAM	LAMINATE		
LAV	LAVATORY		
LB	POUND		
LF	LINEAR FEET		
LTG	LIGHTING		

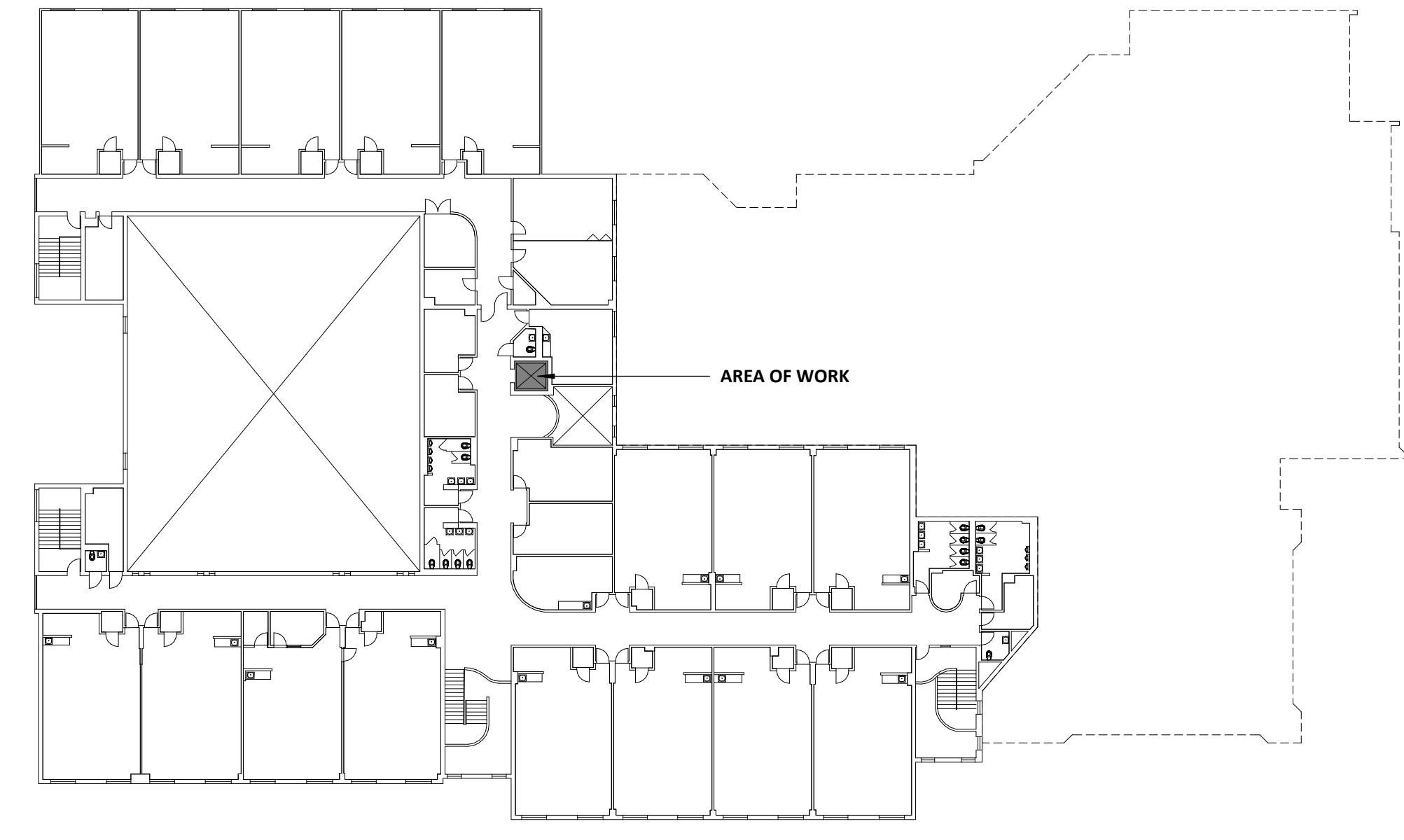
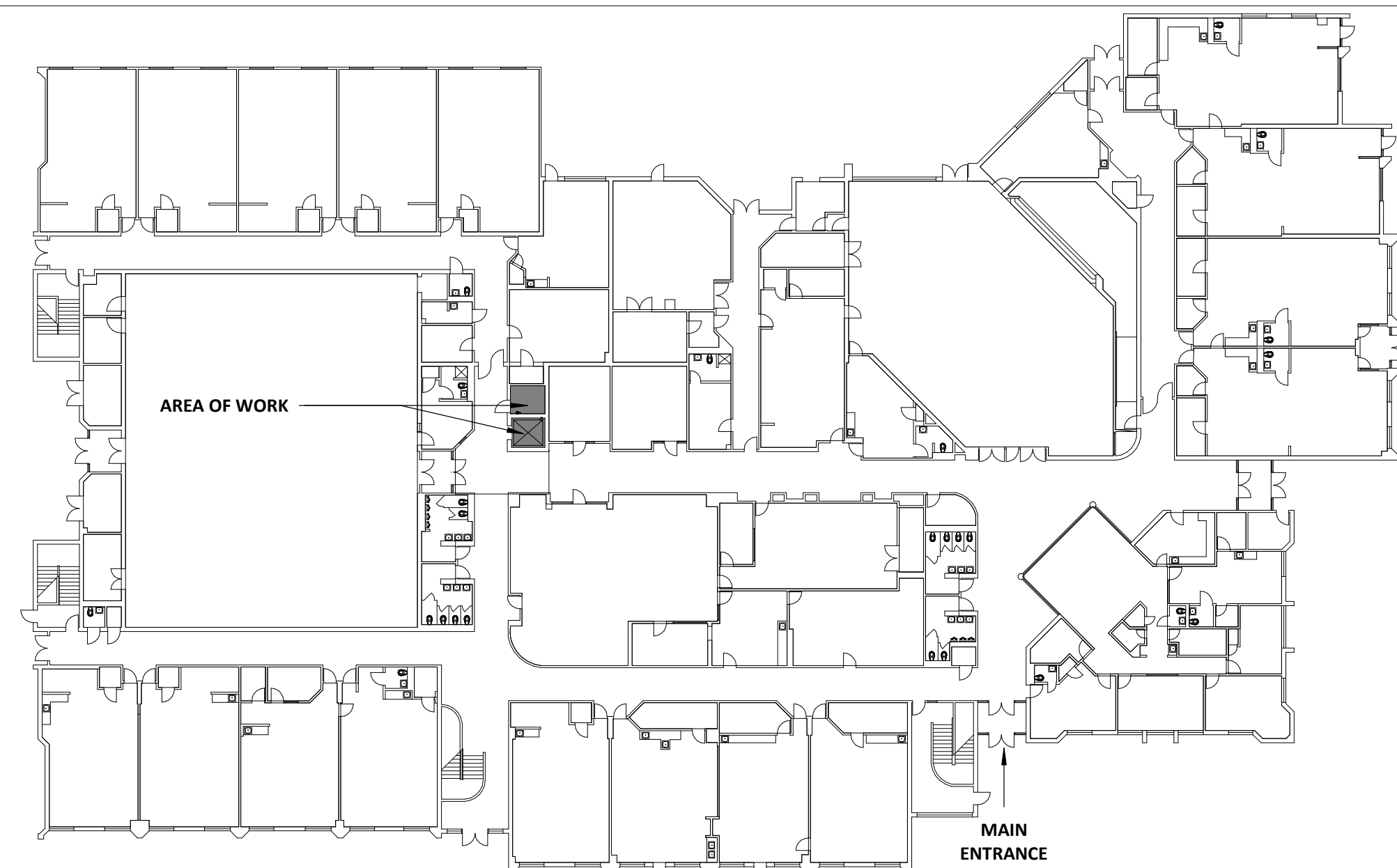
### DRAWING TAGS



### SYMBOLS



### KEY PLANS



**GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION**  
 13611 ROBEY RD,  
SILVER SPRING, MD 20904  
**COVER SHEET**

PROJECT NO.	24-005
DRAWN BY	RR
REVIEWED BY	AC

PERMIT/BID SET ISSUE 03.04.2024

REV.	ISSUE:	DATE

DRAWING STAMP

SHEET NUMBER  
**G000**

T:\Shared\drive\DCI\Projects\2400024-005 Greencastle ES Elevator Replacement\DWG\240109 MCPS Greencastle ES Elevator.rvt

**GENERAL NOTES**

- THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT AND SPECIFICATIONS
- THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS SHALL NOT BE USED BY OWNER OR TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT, NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING WITH THE ARCHITECT.
- PERMITS: GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, EXCEPT BUILDING PERMIT.
- QUALITY: CONTRACTOR SHALL PERFORM ALL WORK AND INSTALL ALL COMPONENTS IN A PROFESSIONAL MANNER. ALL FINISH WORK TO BE TRUE, LEVEL & PLUMB. ALL JOINTS TO BE TIGHT & CLEAR.
- CODE COMPLIANCE: WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & FEDERAL CODES INCLUDING NFPA; USE TESTED AND CERTIFIED ASSEMBLIES, AS REQUIRED BY CODE.
- HANDICAP ACCESSIBILITY: CONTRACTOR SHALL COMPLY WITH ACCESSIBILITY GUIDELINES 36 CFR PART 1191 OF THE FEDERAL REGISTER, ITS PREVIOUS TO ANSI STANDARD A117.1, AND TITLE III OF THE AMERICAN WITH DISABILITY ACT (ADA), AND LOCAL ORDINANCES.
- WARRANTY: ALL CONSTRUCTION, MATERIALS, PRODUCTS AND WORK TO BE WARRANTED FOR A PERIOD OF TWO YEARS FROM DATE OF FINAL ACCEPTANCE BY THE OWNER, UNLESS LONGER PERIODS ARE SPECIFIED FOR SPECIFIC MANUFACTURER'S / SYSTEMS, IN WHICH CASE THOSE LONGER PERIODS SHALL APPLY. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. NO MEASUREMENT SHALL BE SCALED FROM THE CONTRACT DRAWINGS. CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION IF A DIMENSION(S) IS IN QUESTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.
- DIMENSIONS AND NOTES ON ENLARGED PLANS AND DETAILS ARE TO OVERRIDE SMALLER SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF DRYWALL UNLESS NOTED OTHERWISE.
- REMOVE ALL DEBRIS, PACKING MATERIAL, DEMOLISHED MATERIAL AND EXTRANEOUS TRASH GENERATED BY CONSTRUCTION FROM BUILDING & SITE UNLESS NOTED, TO BE TURNED OVER TO OWNER. ALL DEMOLISHED MATERIAL NOT TO BE TURNED OVER OWNER SHALL BECOME THE PROPERTY OF GENERAL CONTRACTOR.
- ALL MATERIAL, HARDWARE, FIXTURES AND FINISHED TO BE BUILDING STANDARD UNLESS NOTED OTHERWISE. BUILDING STANDARD INFORMATION IS AVAILABLE THROUGH THE OWNER'S REPRESENTATIVES AND TYPICALLY MATCHES EXISTING INTERIOR CONSTRUCTION.
- ALL GENERAL CONTRACTORS & SUBCONTRACTORS ARE TO VISIT THE SITE PRIOR TO COMPLETING BID TO VERIFY EXISTING CONDITIONS. GENERAL CONTRACTOR & SUBCONTRACTORS TO PROVIDE WRITTEN DOCUMENTATION OF ANY DISCREPANCY BETWEEN SITE CONDITIONS & DOCUMENTS. SUBMISSION OF BID IS CONFIRMATION THAT EXISTING CONDITIONS HAVE BEEN FULLY TAKEN INTO CONSIDERATIONS & ARE REFLECTED IN THE COSTS PROVIDED.

- SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL TRADES AS SOON AS POSSIBLE TO THE ARCHITECT, ALLOWING TEN (10) WORKING DAYS FOR REVIEW. SHOP DRAWINGS SHALL BE REVIEWED & APPROVED BY CONTRACTOR PRIOR SUBMITTING THEM TO ARCHITECT. NO CONSTRUCTION SHALL PROCEED UNTIL THE APPROVAL OF THESE DRAWINGS. ALL TRADES SHALL BE REVIEWED BY THE ARCHITECT AT THE SAME TIME. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATION, INSTALLATION, INSTRUCTION, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK. CONTRACTOR SHALL FOLLOW PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT, IN WRITING, IMMEDIATELY TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.
- CONTRACTOR TO PROVIDE 2X FIRE RESISTANT BLOCKING AS NECESSARY BEHIND ALL WALL MOUNTED INSTALLATIONS.
- CONTRACTOR TO PROVIDE BUILDING CONSTRUCTION REPRESENTATIVE WITH COPIES OF DELIVERY, AND CONSTRUCTION SCHEDULES. CONTRACTOR TO COORDINATE ALL SCHEDULES WITH BUILDINGS CONSTRUCTION REPRESENTATIVE.
- CUTTING & PATCHING: CONTRACTOR TO PATCH, REPAIR & REFINISH WORK DAMAGED AS A RESULT OF DEMOLITION OR REMOVAL OF CONSTRUCTION TO MATCH ADJACENT FINISH. PATCH THRU-WALL/ THRU-FLOOR PENETRATIONS TO MAINTAIN EXISTING BUILDING INTEGRITY.
- IF NEEDED, CORING, DRILLING OR OTHER SUCH WORK IN ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT HOURS MINDFUL OF THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED. GENERAL CONTRACTOR SHALL DIRECTLY COORDINATE WITH BUILDING OWNER'S REPRESENTATIVE AND AFFECTED TENANT(S).
- IF NEEDED, NO CORE DRILLING SHALL BE PERFORMED BEFORE 8:30 AM MONDAY - FRIDAY OR BEFORE 9:00 AM SATURDAY - SUNDAY. WITH REGARD TO CORE DRILLED SLAB OPENINGS, A DRAWING SHOWING THE LOCATION AND SIZE OF ALL OPENINGS SHALL BE SUBMITTED TO THE BUILDING OWNER'S REPRESENTATIVE FOR REVIEW BY THE BUILDING STRUCTURAL ENGINEER.
- IF REQUIRED, UTILITY OUTAGES SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED.
- IF REQUIRED, ALL ROOF WORK TO BE COMPLETED BY MCPS APPROVED ROOFING CONTRACTOR. PROVIDE A SMOOTH, NEAT, CONTINUOUS APPEARANCE WHERE DEMOLITION WORK MEETS ADJACENT EXISTING WORK. REMOVE EXISTING FINISHES AS REQUIRED TO PROVIDE NEAT, STRAIGHT SEAMS AND TRANSITIONS BETWEEN EXISTING AND MATCHING NEW FINISHES.
- CONTRACTOR WILL COORDINATE AND OBTAIN ALL PERMITS AND APPROVALS TO HAVE AN OPEN TOP DUMPSTER AT CURBSIDE OF THE BUILDING.
- CONTRACTOR TO PROTECT EXISTING FLOORING TO REMAIN WITH MINIMUM 1/2" PLYWOOD SHEETS.

**APPLICABLE CODES**

<b>JURISDICTION:</b>	<b>MONTGOMERY COUNTY, MD</b>
<b>BUILDING CODE:</b>	2018 INTERNATIONAL BUILDING CODE (IBC) AS MODIFIED BY MONTGOMERY COUNTY AMENDMENTS 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
<b>ELECTRICAL CODE:</b>	MONTGOMERY COUNTY CODE, CHAPTER 17 ELECTRICITY NFPA 70 (NATIONAL ELECTRICAL CODE)
<b>ACCESSIBILITY CODE:</b>	COMAR 09.12.53 MARYLAND ACCESSIBILITY CODE
<b>MECHANICAL CODE:</b>	2018 INTERNATIONAL MECHANICAL CODE (IMC)
<b>ENERGY CODE:</b>	2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
<b>PLUMBING CODE:</b>	WASHINGTON SUBURBAN SANITARY COMMISSION (WSSC)
<b>FUEL GAS CODE:</b>	2018 INTERNATIONAL FUEL GAS CODE (ICC)
<b>FIRE &amp; LIFE-SAFETY CODE:</b>	MONTGOMERY COUNTY CODE CHAPTER 22 FIRE SAFETY CODE 2015 NFPA 1 FIRE CODE 2015 NFPA 101 LIFE SAFETY CODE
<b>ELEVATOR CODE:</b>	ASME 17.1 SAFETY CODE FOR ELEVATORS AND ESCALATORS

**CODE ANALYSIS**

**BUILDING DESCRIPTION:**

<b>PROJECT DESCRIPTION:</b>	ELEVATOR MODERNIZATION FOR ONE EXISTING HYDRAULIC ELEVATORS. EXIST CABS TO BE REFURBISHED; NEW MACHINE RM EQUIPM, DOORS AND CONTROLS.	
<b>IBC OCCUPANCY CLASSIFICATION</b>	<b>EXISTING</b> E AND A3	<b>PROPOSED</b> E AND A3 (NO CHANGE)
<b>NFPA 101 - OCCUPANCY CLASSIFICATION</b>	<b>EXISTING</b> EDUCATION AND ASSEMBLY	<b>PROPOSED</b> EDUCATION AND ASSEMBLY (NO CHANGE)
<b>TYPE OF CONSTRUCTION</b>	II-B IBC	II-B IBC
<b>NUMBER OF STORIES ABOVE GRADE (BLDG)</b>	2	2
<b>HEIGHT ABOVE GRADE (BLDG)</b>	APPROX. 25' - 0"	APPROX. 25' - 0" (NO CHANGE)
<b>HIGH RISE (Y/N)</b>	N	N
<b>STANDPIPES (Y/N)</b>	N/A	N/A
<b>FULLY SPRINKLERED (Y/N)</b>	Y	Y
<b>FIRE ALARM (Y/N)</b>	Y	Y
<b>FLOOR AREA OF RENOVATION (GROSS)</b>	169 SF	169 SF (NO CHANGE)
<b>BUILDING AREA</b>	APPROX. 78,275 SF	NO CHANGE
<b>CODES USED FOR DESIGN</b>	IBC	IBC 2018

**OCCUPANT LOAD: (NO CHANGE)**

**FINISH CLASS RATINGS:**

ALL FLOOR, WALL AND CEILING FINISHES WILL MEET OR EXCEED SMOKE DEVELOPMENT AND FLAME SPREAD RATING REQUIREMENTS OF IBC 2018 CHAPTER 8. (USE: E)  
MINIMUM FLOOR FINISH RATING REQUIRED: CLASS 'II'  
MINIMUM WALL/CEILING FINISH RATING REQUIRED: CLASS 'C'

**dci ARCHITECTS**  
107A W EDMONSTON DRIVE  
ROCKVILLE, MD 20852  
(P) 301-605-7005  
(C) 301-404-0449

**MONTGOMERY COUNTY PUBLIC SCHOOLS**

**DIVISION OF CONSTRUCTION**  
45 W. GUDE DRIVE, 4<sup>TH</sup> FLOOR  
ROCKVILLE, MD 20850

**MECHANICAL / PLUMBING / ELECTRICAL ENGINEER**

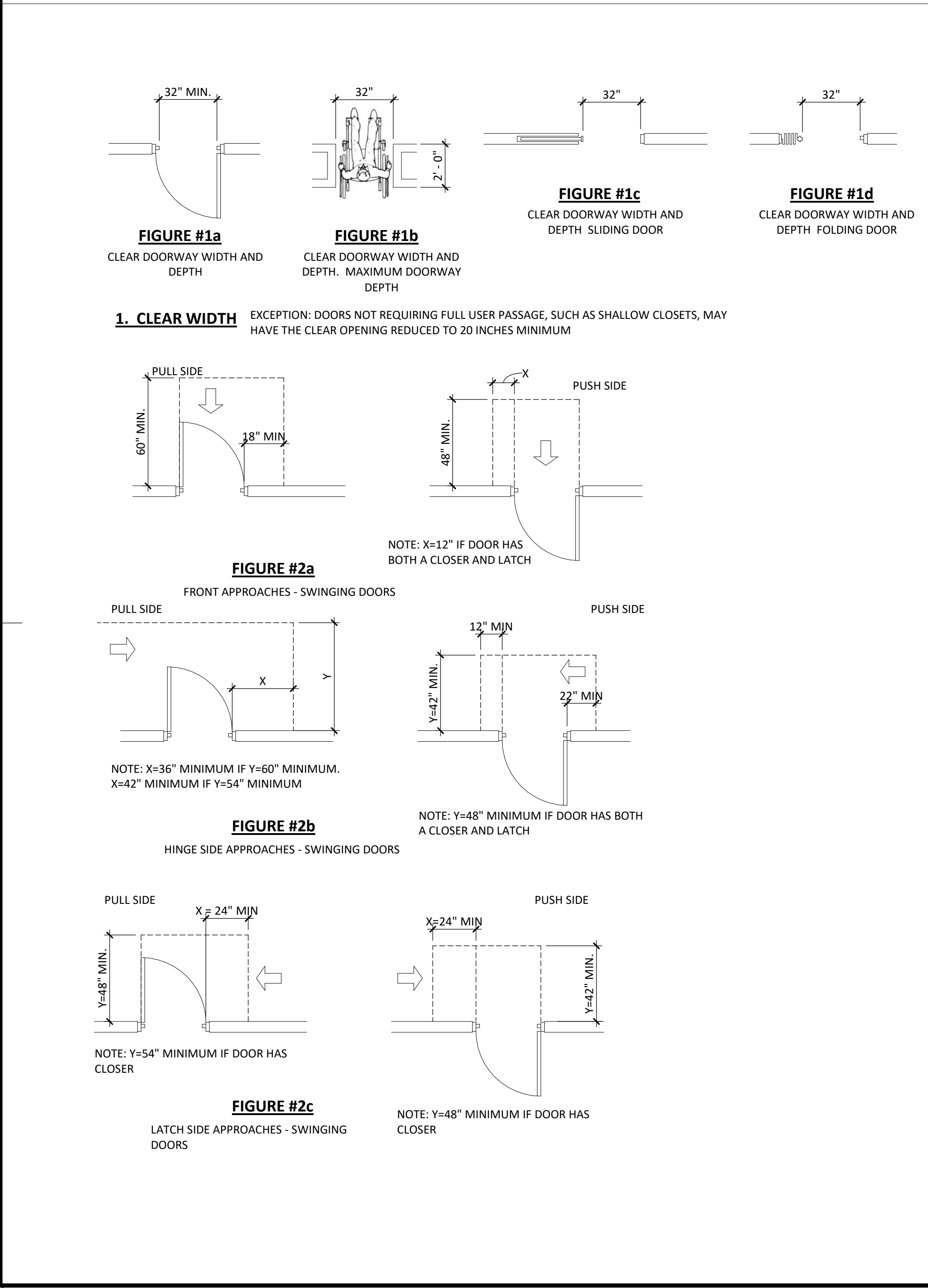
**OTA CONSULTING ENGINEERS, INC**  
220 NORTH ADAMS ST  
ROCKVILLE, MD 20850  
(P) 301-762-7172

**CERTIFICATION BLOCK**  
I certify that these documents were prepared and approved by me, and that I am a duly licensed architect under the laws of the State of Maryland

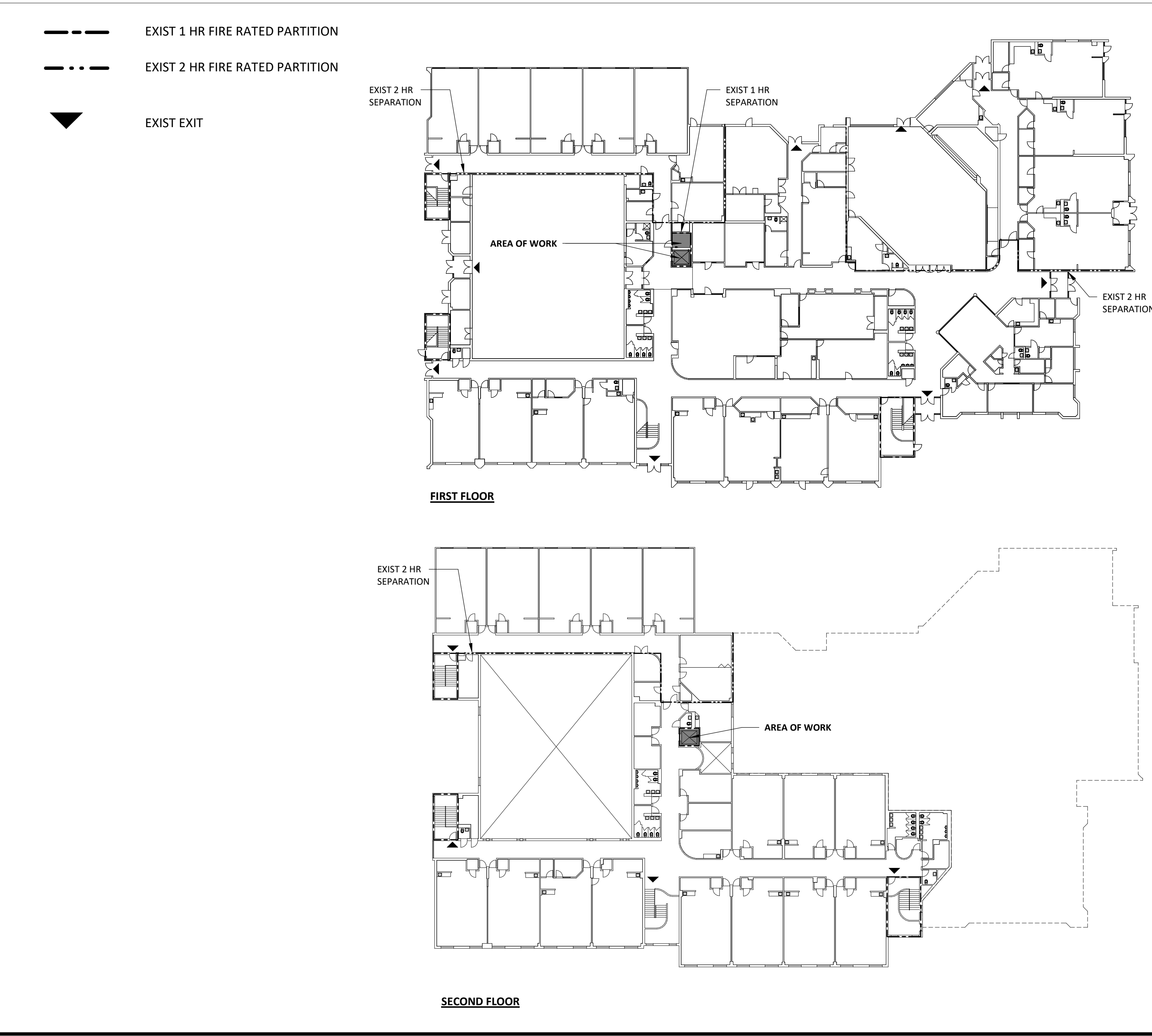
**License Number: 13183**

**Expiration Date: July 12, 2024**

**TYPICAL ADA DETAILS**



**LIFE SAFETY PLANS (NO CHANGE TO EGRESS COMPONENTS)**



**GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION**

13611 ROBEEY RD,  
SILVER SPRING, MD 20904

**GENERAL NOTES, CODE ANALYSIS, AND ADA DETAILS**

**PROJECT NO. 24-005**

**DRAWN BY RR**

**REVIEWED BY AC**

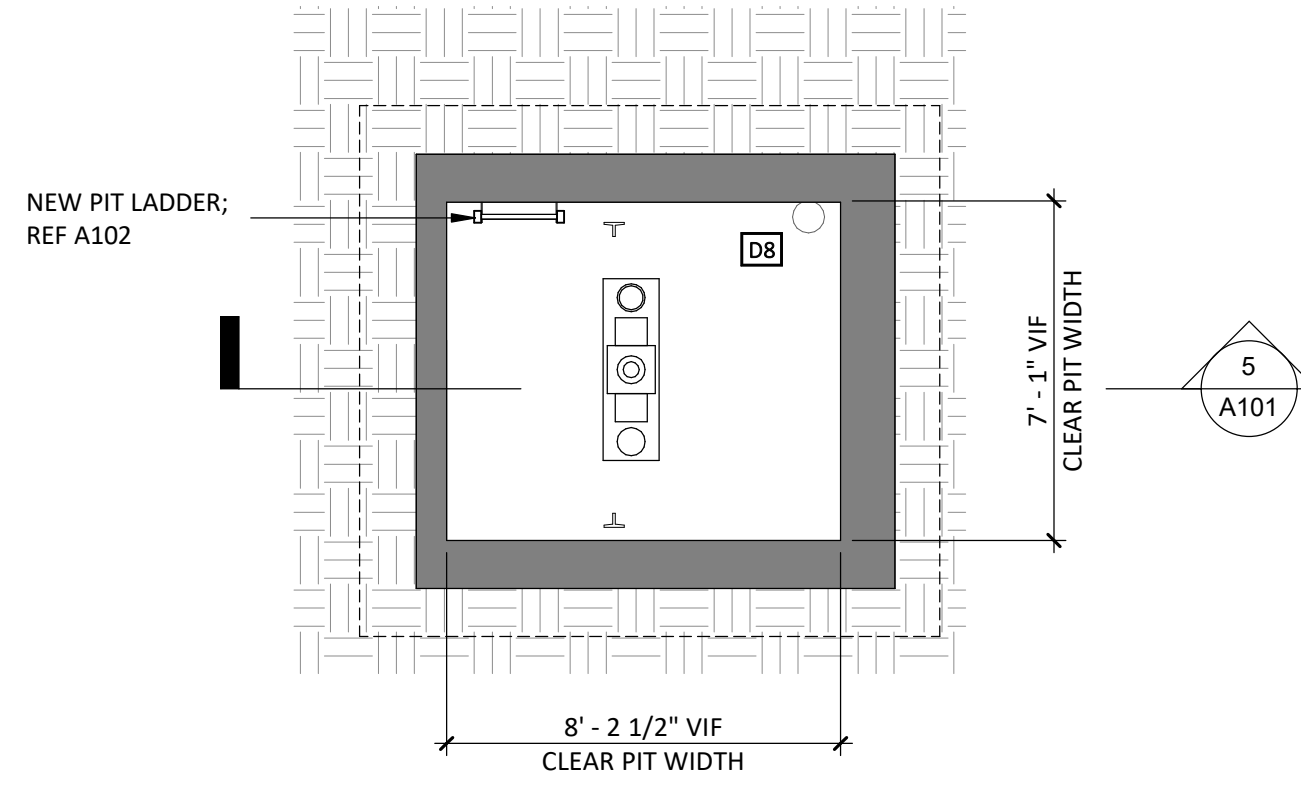
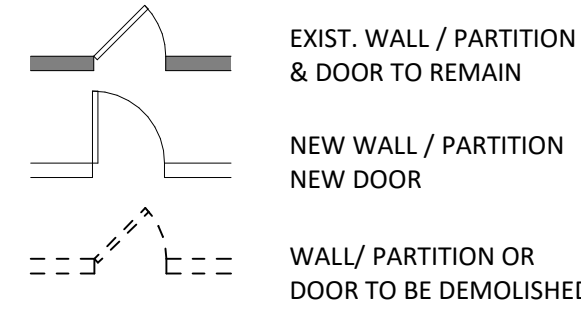
**PERMIT/BID SET ISSUE 03.04.2024**

**ISSUE: DATE**

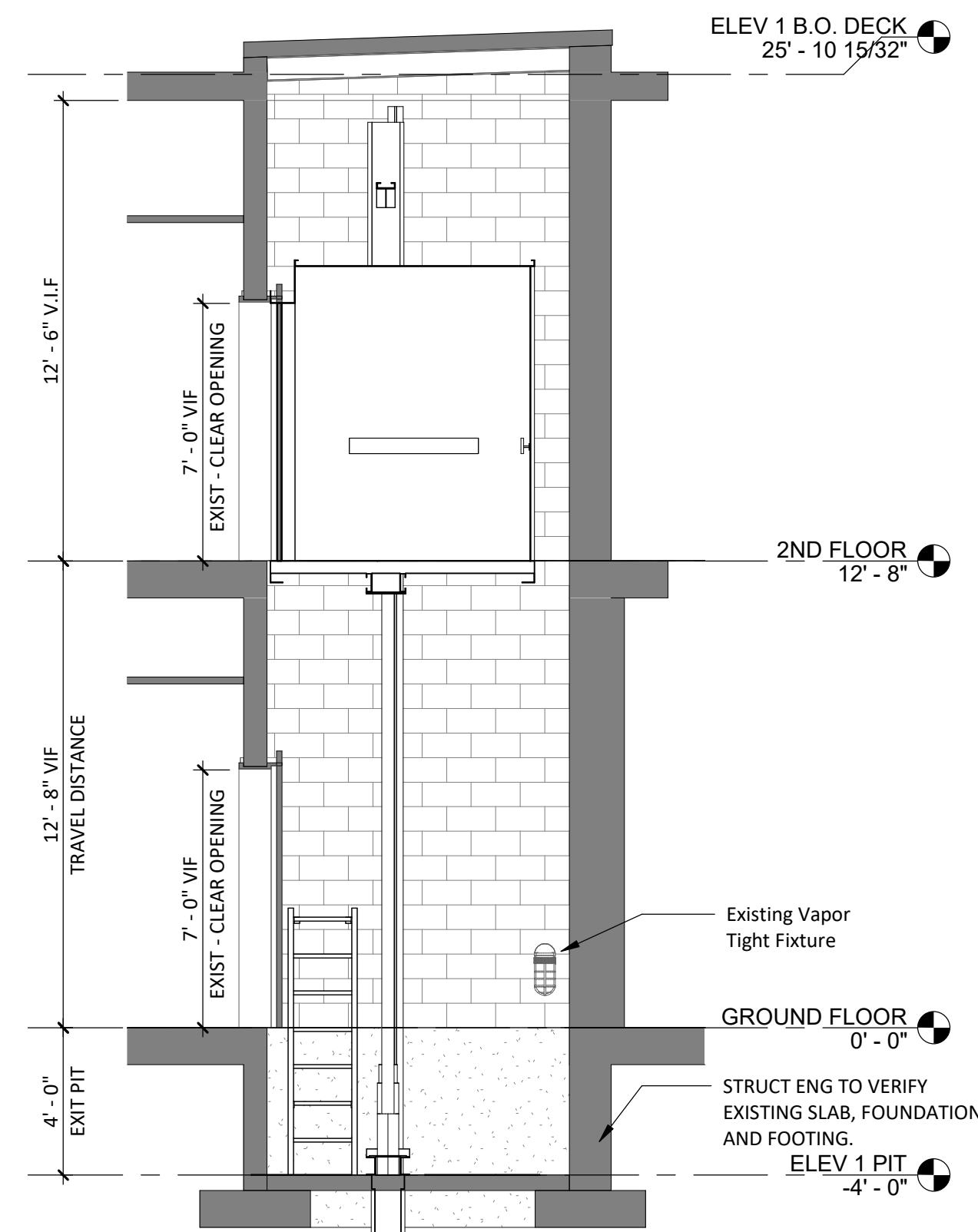
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**SHEET NUMBER G001**

PLAN LEGEND



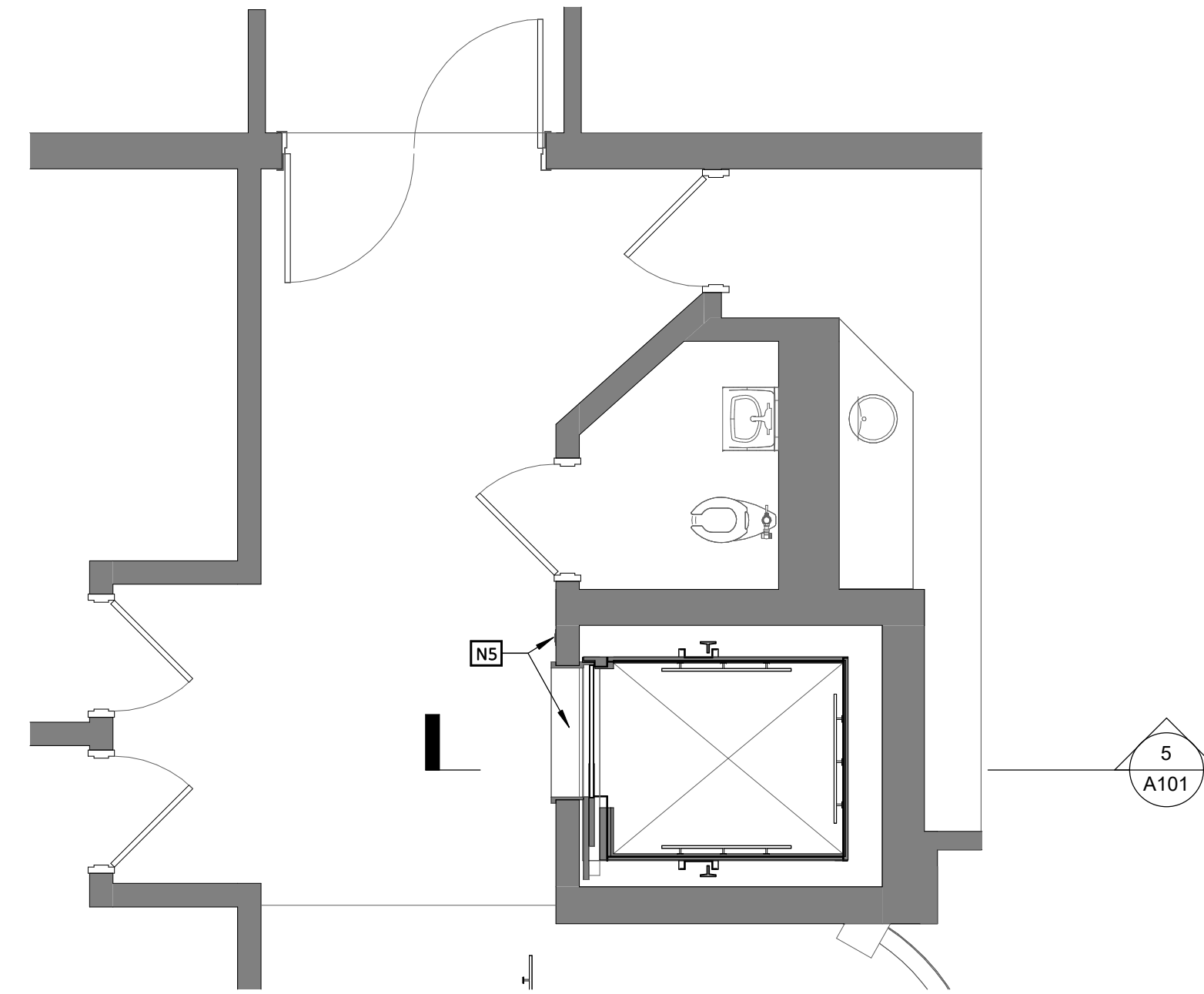
6 PROP PIT PLAN - ELEV A101 SCALE 1/4" = 1'-0"



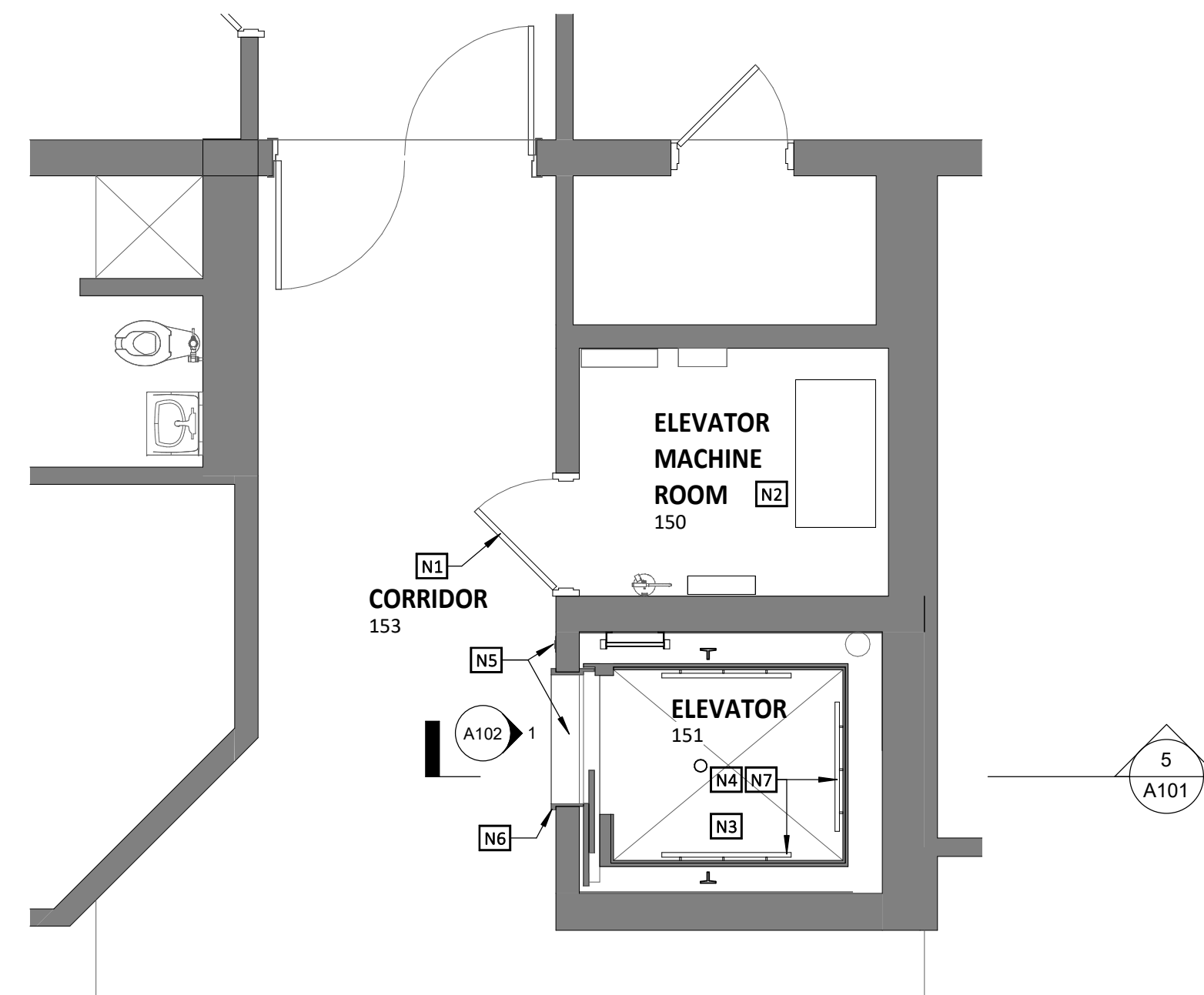
5 SECTION A101 SCALE 1/4" = 1'-0"

GENERAL NOTES:

- 1. PATCH AND REPAIR ANY DAMAGE TO ADJACENT SURFACES AND FINISHES TO PROVIDE A SEAMLESS APPEARANCE. PAINT WALLS TO MATCH EXISTING; REPLACE ANY DAMAGED FLOORING AND WALL BASE IN KIND TO MATCH EXIST.
2. REF TO MEP DRAWINGS FOR NEW ELEV MACHINE ROOM AND ROOFTOP EQUIP LOCATIONS.
3. SEAL AROUND ALL OPENINGS IN FIRE RATED ASSEMBLIES WITH FIRE RATED SEALANT.
4. PATCH AND REPAIR ANY ABANDONED OPENINGS IN ELEVATOR HOISTWAYS AND MACHINE ROOMS WITH LIKE ASSEMBLIES TO MAINTAIN ALL EXIST FIRE RATINGS.



4 PROP 2ND FLOOR PLAN A101 SCALE 1/4" = 1'-0"



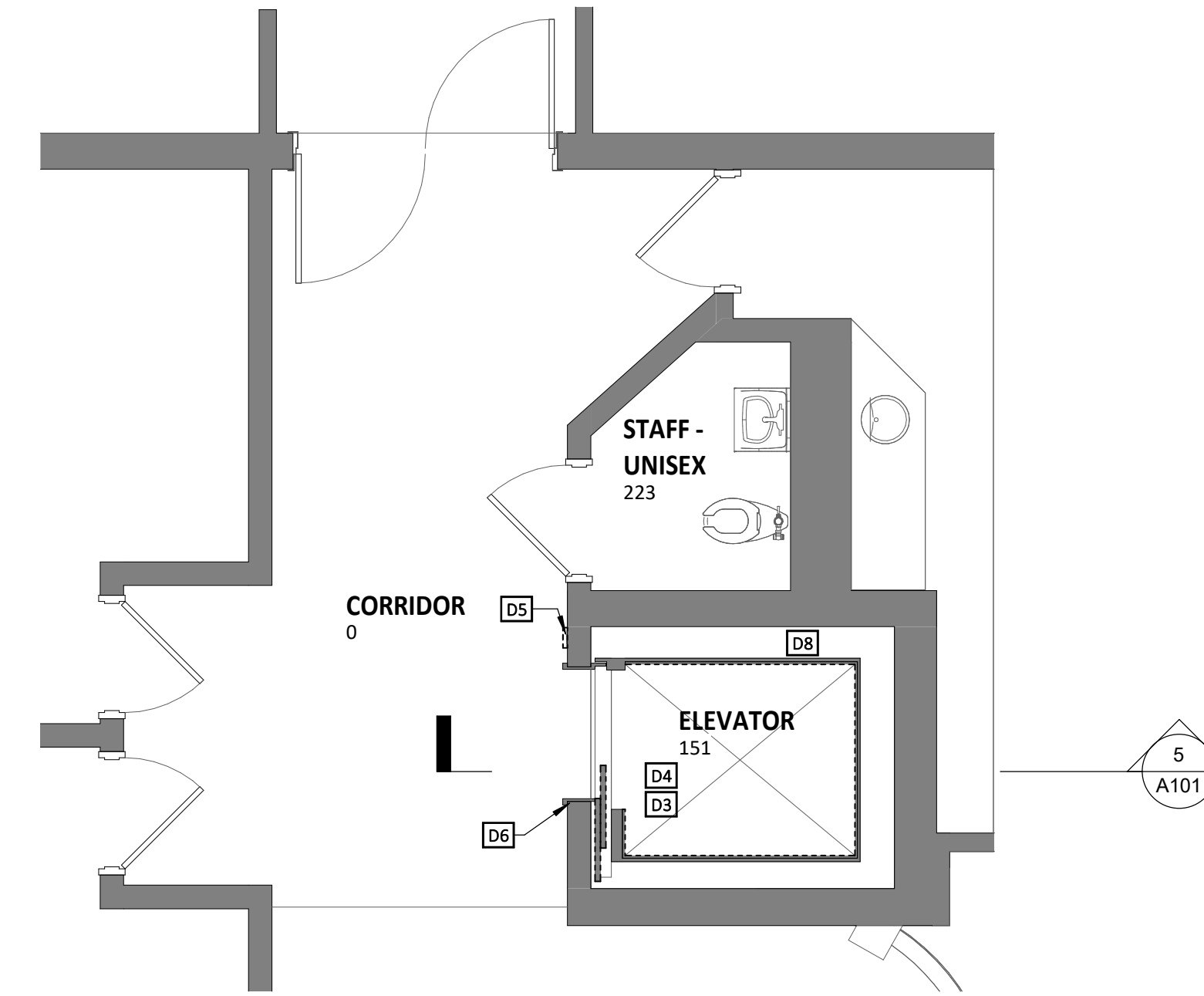
3 PROP GROUND FLOOR PLAN A101 SCALE 1/4" = 1'-0"

DEMOLITION KEYED NOTES

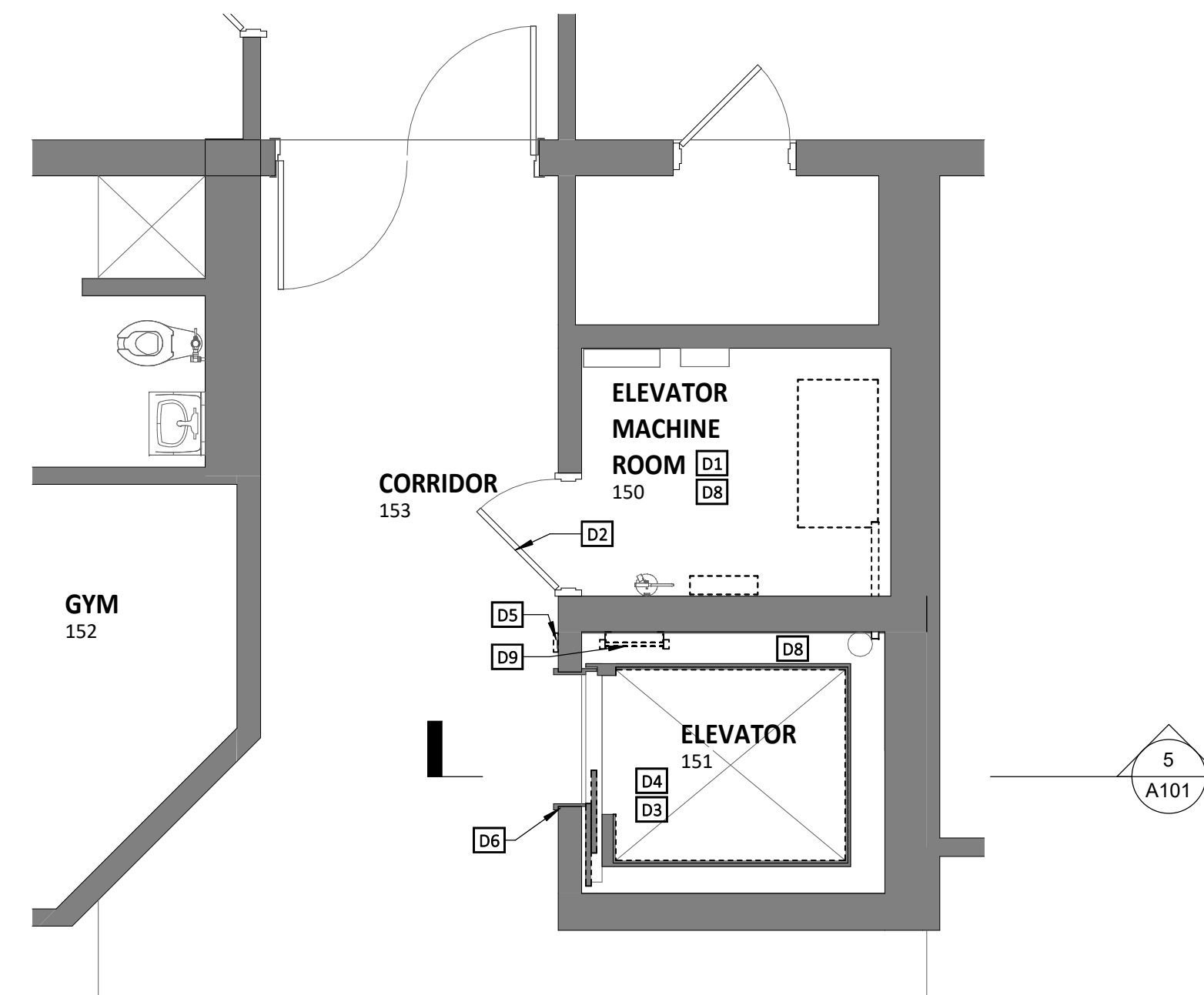
Table with 2 columns: KEY #, NOTE. Contains items D1 through D9 detailing demolition work for pump, doors, equipment, call buttons, and frames.

PROPOSED KEYED NOTES

Table with 2 columns: KEY #, NOTE. Contains items N1 through N7 detailing proposed work for door frames, equipment, and handrails.



2 DEMO 2ND FLOOR PLAN A101 SCALE 1/4" = 1'-0"



1 DEMO GROUND FLOOR PLAN A101 SCALE 1/4" = 1'-0"



DIVISION OF CONSTRUCTION 45 W. GUDE DRIVE, 4TH FLOOR ROCKVILLE, MD 20850

MECHANICAL / PLUMBING / ELECTRICAL ENGINEER GYA CONSULTING ENGINEERS, INC 220 NORTH ADAMS ST ROCKVILLE, MD 20850 (P) 301-762-7172

CERTIFICATION BLOCK I certify that these documents were prepared and approved by me, and that I am a duly licensed architect under the laws of the State of Maryland License Number: 13183 Expiration Date: July 12, 2024

GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION

DEMO AND PROPOSED FLOOR PLANS

13611 ROBEBY RD, SILVER SPRING, MD 20904

Table with 2 columns: PROJECT NO. (24-005), DRAWN BY (MAS), REVIEWED BY (EM/AC)

Table with 2 columns: PERMIT/BID SET ISSUE (03.04.2024)

Table with 3 columns: REV#, ISSUE, DATE. Includes a drawing stamp area.

DRAWING STAMP SHEET NUMBER

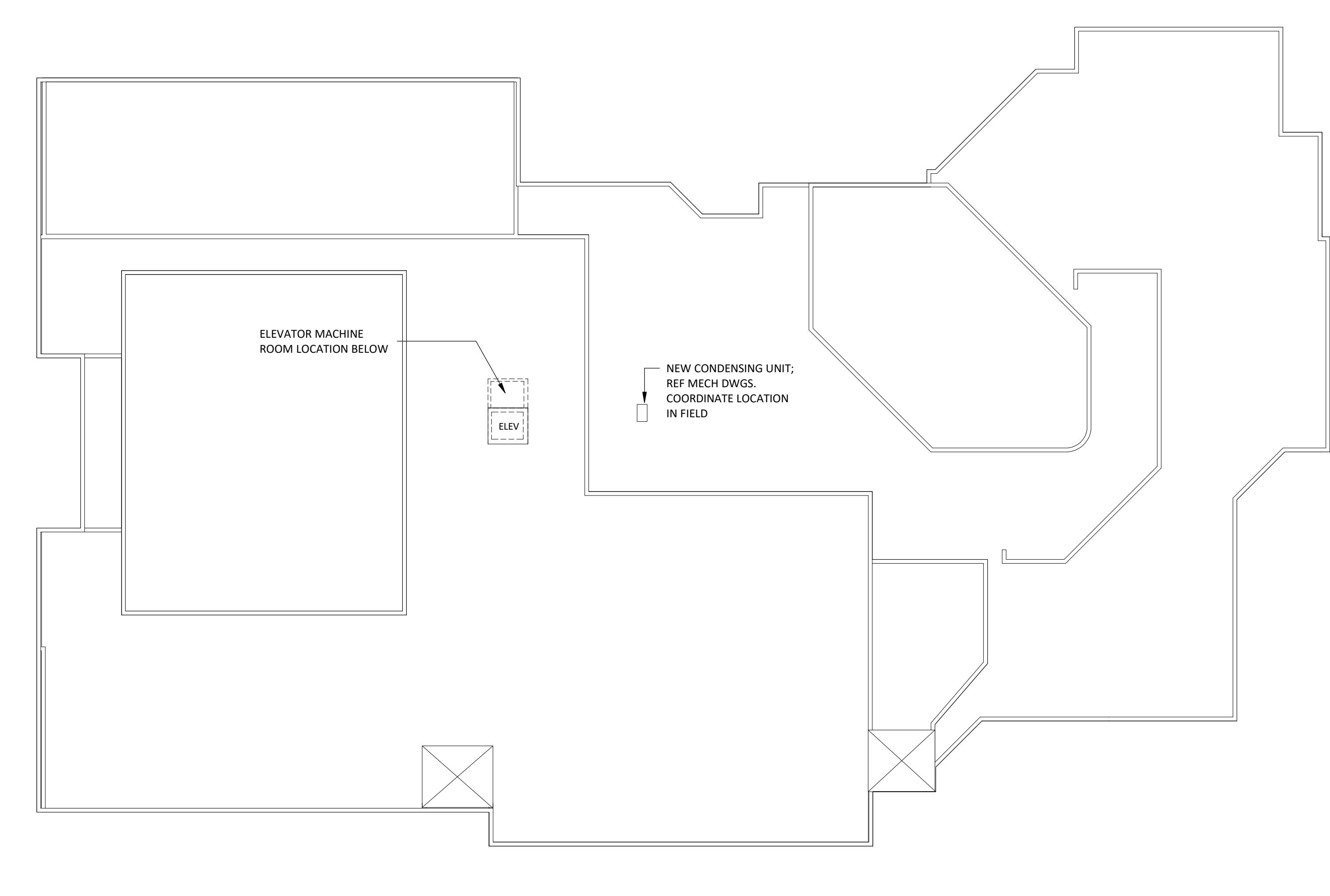
A101

MCPS Approved Roofing Contractors Tier System

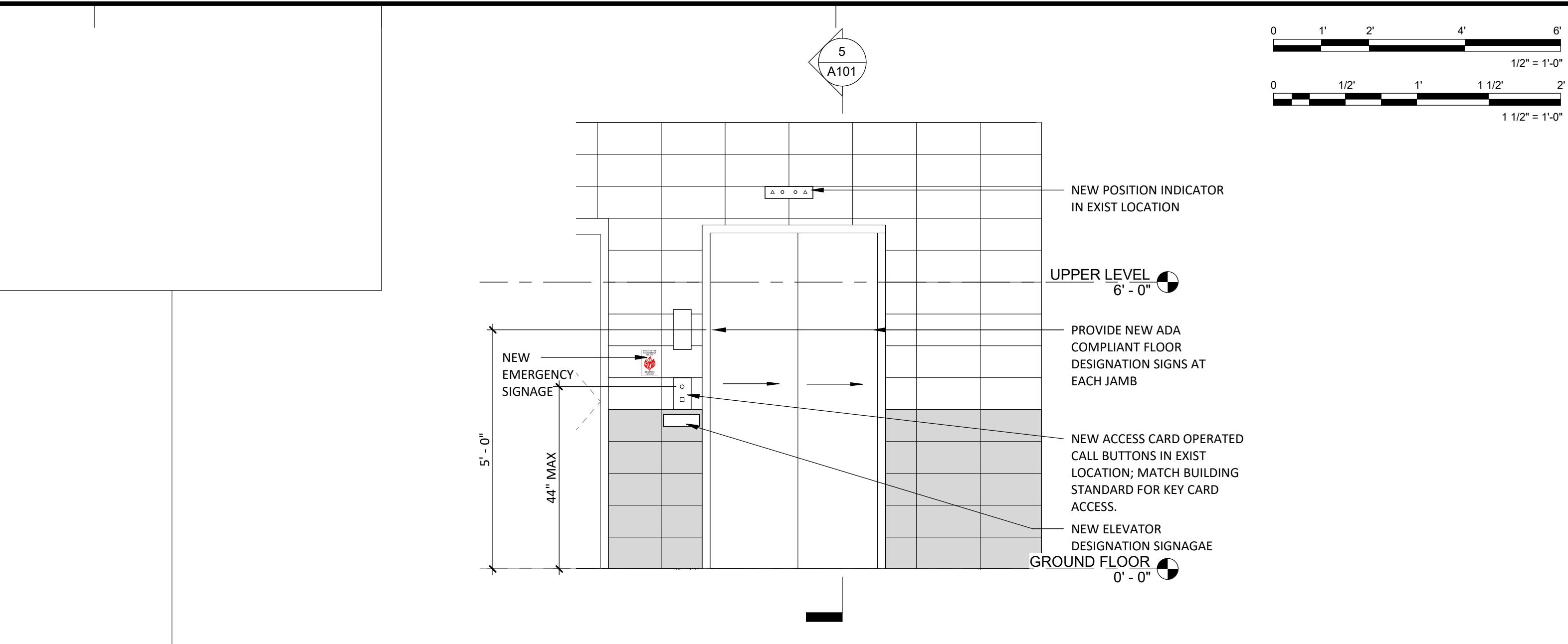
16-Nov-21

<b>Tier 1</b>	Contractor has successfully demonstrated the ability to complete all types of roofs with no restriction in size or dollar limit. The contractor are eligible to bid on ALL MCPS' roofing projects.
<b>Tier 2</b>	Contractor will be limited to roofs of 100 squares (+/-) BUR and single ply until they demonstrate they have the manpower, equipment and the means to successfully complete them in the time allotted and to MCPS roofing standards. After successful completion of two or three roofing projects, the contractor will be re-evaluated to see if they qualify to be classified as a TIER 1 Roofing Contractor where they will be granted all rights do as a TIER 1 Roofing Contractor.

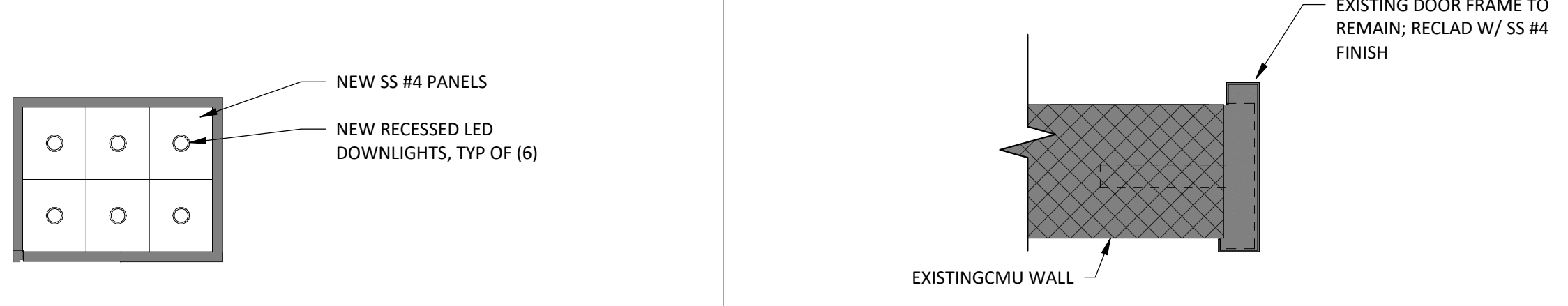
Contractor	Street Address	Contact Person	Email Addresses	Tier Level	Phone Number	Fax Number
Citi Roof Corporation	9510 Berger Road Columbia, Md. 21046	H. Lee Goldhammer	Lee@citiroof.com sales@citiroof.com	1	410-381-3100	410-381-8835
Cole Roofing Co., Inc.	3915 Coolidge Avenue Baltimore, Md. 21229	Billy Cole	Dennis@coleroofing.com Billy@coleroofing.com mailbox@coleroofing.com	1	410-242-0600	410-242-8007
Function Enterprises, Inc.	7954 Cameron Brown Court Springfield, VA 22153	Ryland T. Gray	ryland@function.net	1	703-569-2422	703-569-9661
Interstate Corporation	8040 Queenair Drive Gaithersburg, Md. 20879	Perry Cho	perry@icroof.com	1	301-738-7111	301-762-7355
Kalkreuth Roofing & Sheet Metal	9001 Baltimore Road Frederick, Md. 21704	Andrew Vanlandingham	avanlandingham@krsrm.net	1	301-698-0717	301-695-0884
Orndorff & Spaid, Inc.	11722 Old Baltimore Pike Beltsville, Md. 20705	Dave Porterfield	estimating@osroofing.com John@osroofing.com	1	301-937-5911	301-937-0310
R. D. Bean, Inc.	5105-13 Powder Mill Road Beltsville, Md. 20705	Rick Drew	rick@rbean.com	1	301-937-0260	301-937-0958
Rayco Roof Service, Inc.	6870 Wellington Road, Manassas, Va. 20109	Raymond Conley	jim.wright@raycoroofservice.com	1	703-335-5110	703-631-2274
Tecta America (Originally Roofers, Inc.) (New contact 2.5.14)	326 West 23rd Street Baltimore, Md. 21211	S Coyne	SCOYNE@TECTAAMERICA.COM	1	1-800-772-8592	410-467-2439
Vatica Contracting, Inc. (Approved 11-29-10)	4350 Kernsworth Avenue Hyattsville, Md. 20781	S Kim	SKIM@VATICAINC.COM kpsaromatis@vaticainc.com	1	301-927-8530	301-927-8760
North East Contracting	7220 Lockport Place Lorton Va. 22079	Eion Kelley		2	703-370-8890	
Chu Contracting Inc.	14020 Thunderbolt Pl., Ste 300 Charlottesville, Va. 20151	Jason Yu		2	703-378-8190	703-378-8191
Ruff Roofing and Sheet Metal Inc.	1420 Knecht Ave. Baltimore, Md. 21227	Timothy Ruff		2	410-242-2400	410-247-7171
Alliance Exterior Construction	4215 Eastern Ave. Baltimore, Md. 21224	Kassandra Bowling	kassandrab@allianceexterior.com	2	410-483-7470	



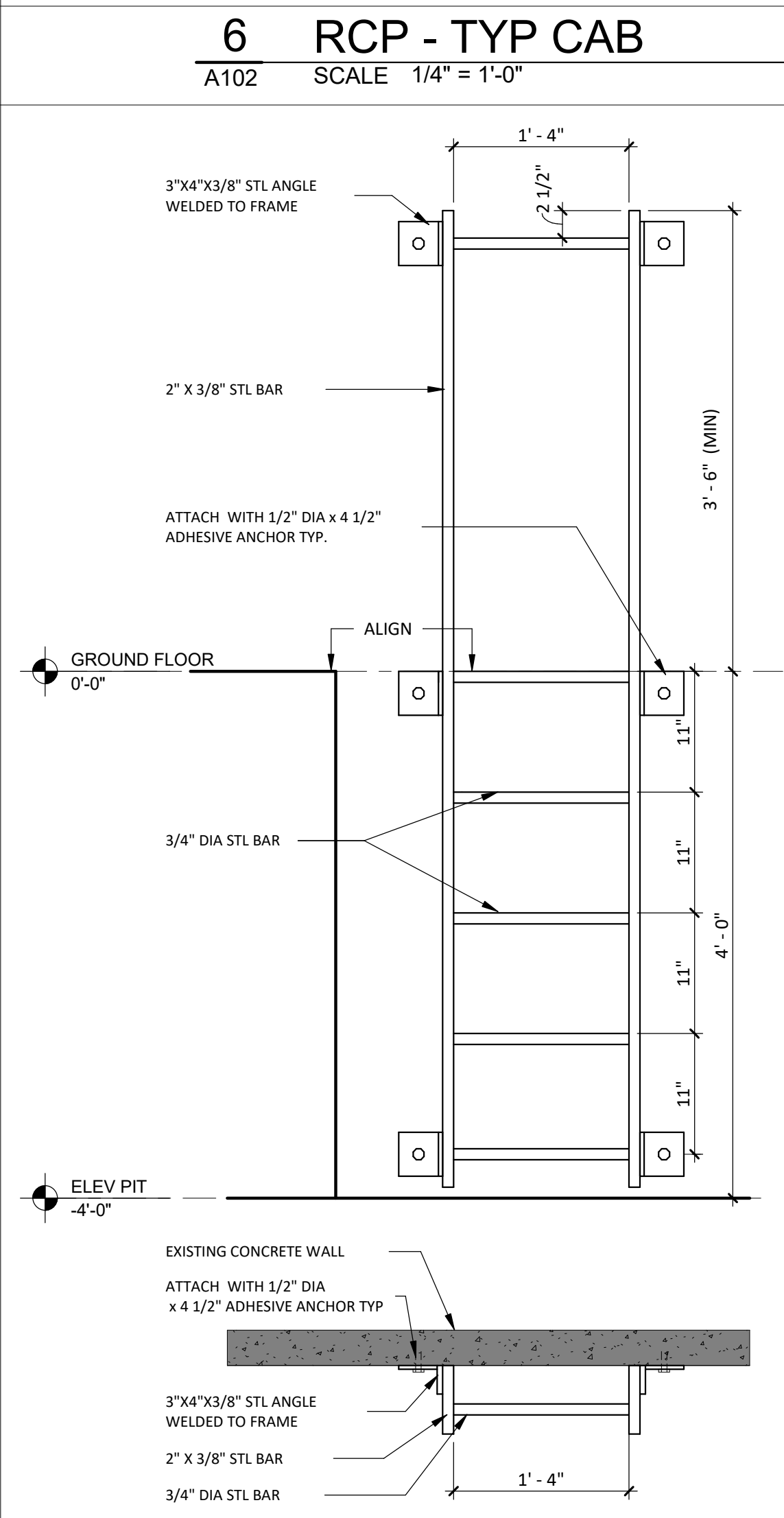
**8 PROP ROOF PLAN**  
A102 SCALE 3/64" = 1'-0"



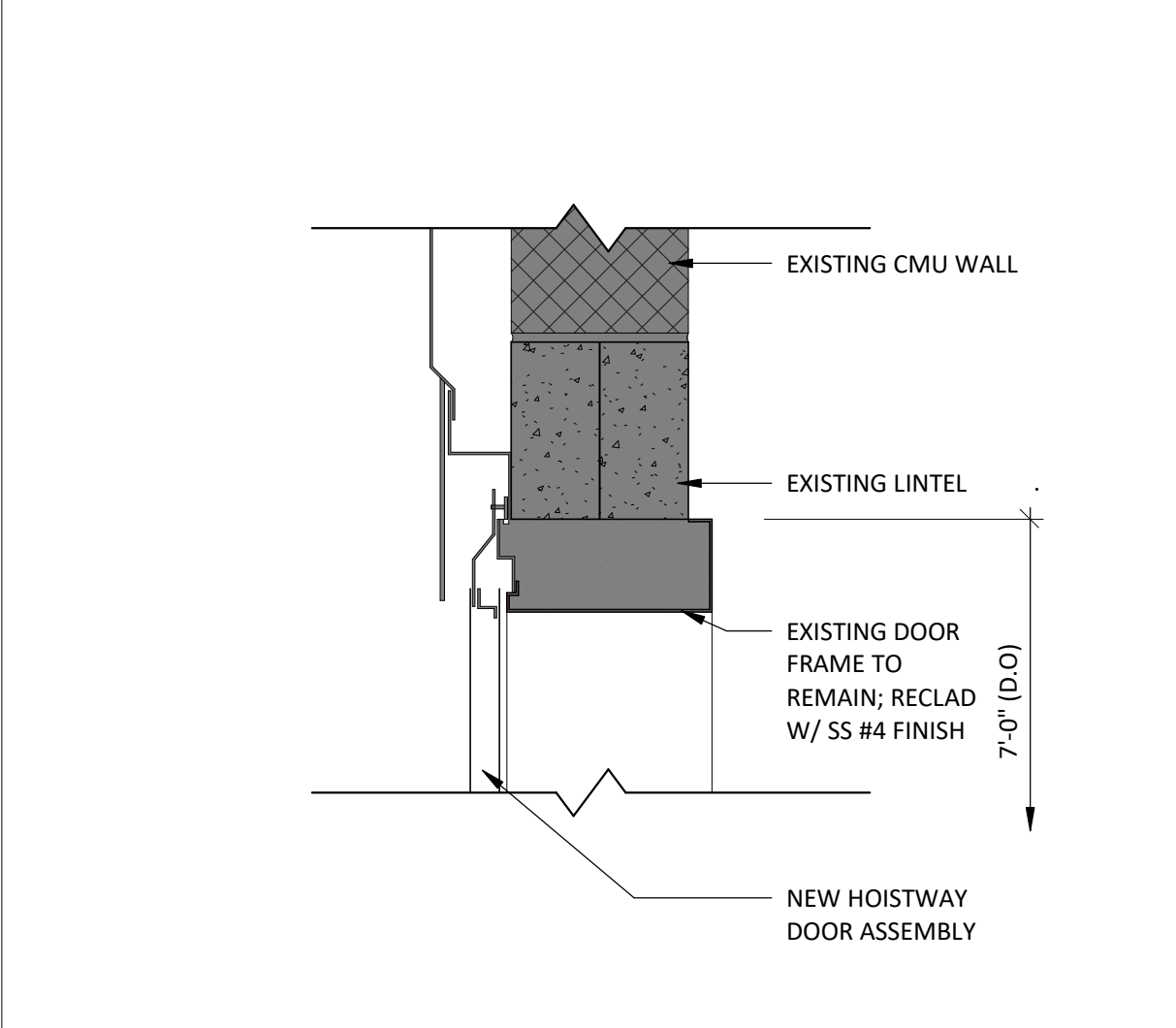
**1 TYP LOBBY ELEVATION**  
A102 SCALE 1/2" = 1'-0"



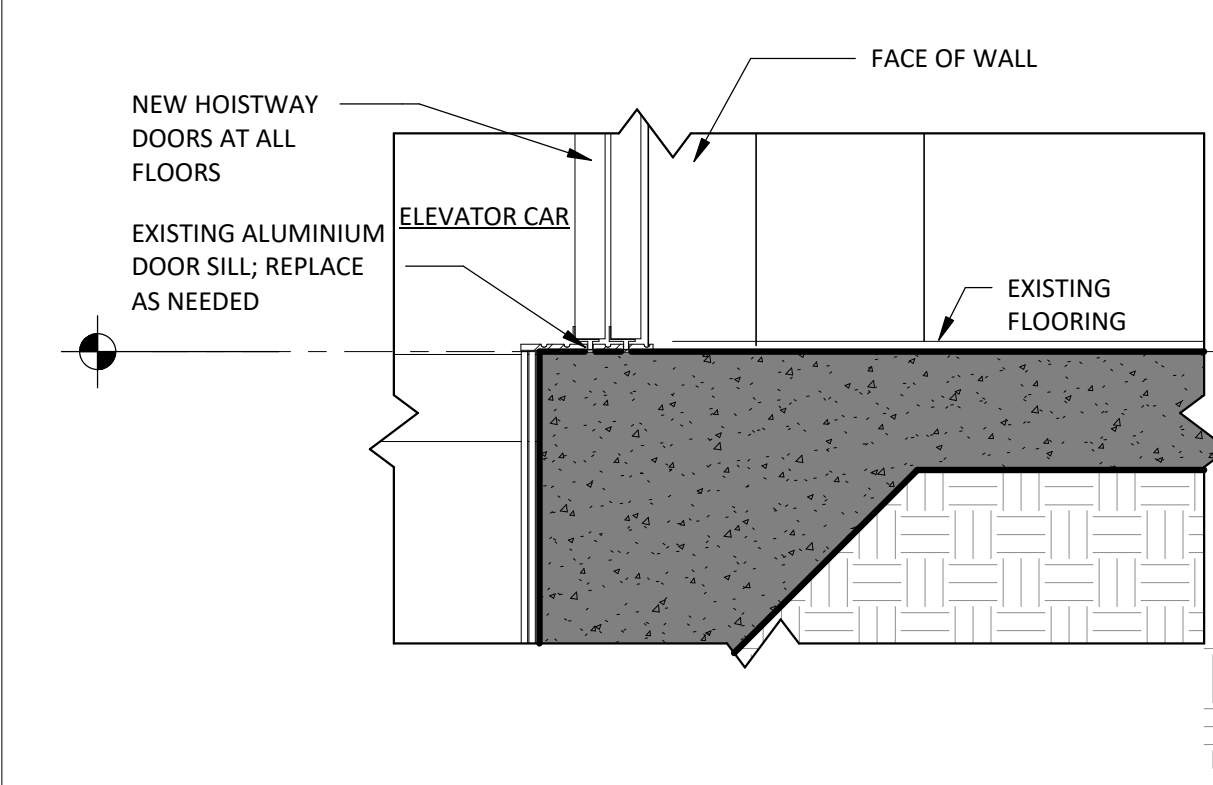
**2 ELEVATOR JAMB DETAIL**  
A102 SCALE 1 1/2" = 1'-0"



**7 ELEVATOR LADDER DETAIL**  
A102 SCALE 1" = 1'-0"



**3 ELEVATOR HEAD DETAIL**  
A102 SCALE 1 1/2" = 1'-0"



**4 ELEVATOR THRESHOLD DETAIL**  
A102 SCALE 1 1/2" = 1'-0"

**dci ARCHITECTS**  
107A W EDMONSTON DRIVE  
ROCKVILLE, MD 20852  
(P) 301-605-7005  
(C) 301-404-0449

OWNER  
**MONTGOMERY COUNTY PUBLIC SCHOOLS**

DIVISION OF CONSTRUCTION  
45 W. GUDE DRIVE, 4<sup>th</sup> FLOOR  
ROCKVILLE, MD 20850

MECHANICAL / PLUMBING / ELECTRICAL ENGINEER  
**ETA CONSULTING ENGINEERS, INC**  
220 NORTH ADAMS ST  
ROCKVILLE, MD 20850  
(P) 301-762-7172

CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed architect under the laws of the State of Maryland

License Number: **13183**

Expiration Date:  
**July 12, 2024**

**GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION**

13611 ROBEBY RD.  
SILVER SPRING, MD 20904

ELEVATOR DETAILS

PROJECT NO.	24-005
DRAWN BY	RR
REVIEWED BY	AC

PROJECT ISSUE DATE  
**PERMIT/BID SET ISSUE 03.04.2024**

REV.	ISSUE:	DATE

DRAWING STAMP

SHEET NUMBER  
**A102**

T:\Shared\drive\DCI\Projects\2400024-005 GreenCastle ES Elevator Replacement\DWG\240109 MCPS GreenCastle ES Elevator.rvt

A

B

C

D



**DIVISION OF CONSTRUCTION**  
45 W. GUDE DRIVE, 4<sup>th</sup> FLOOR  
ROCKVILLE, MD 20850



**CERTIFICATION BLOCK**  
I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland.  
**License Number: 12404**  
**Expiration Date: April 12, 2025**

**HVAC SYMBOLS LIST**

- EXISTING WORK
- EXISTING DUCTWORK TO BE REMOVED  
SINGLE LINE REPRESENTATION
- NEW DUCTWORK
- DOOR UNDERCUT
- POINT OF CONNECTION NEW TO EXISTING
- RETURN OR EXHAUST REGISTER
- EXISTING DIFFUSER. REBALANCE FOR CFM SHOWN.

**SUBSCRIPTS ADJACENT TO SYMBOLS**

- (E) EXISTING DEVICE
- (EXR) EXISTING RELOCATED DEVICE
- (XR) EXISTING DEVICE TO BE REMOVED AND RELOCATED
- (X) EXISTING DEVICE TO BE REMOVED

**ABBREVIATIONS**

- AFF ABOVE FINISHED FLOOR
- CFM CUBIC FEET PER MINUTE
- CLG CEILING
- CD CEILING DIFFUSER
- DIA DIAMETER
- DN DOWN
- ER EXHAUST REGISTER
- EXIST. EXISTING
- F FAN
- FLR FLOOR
- IE INVERT ELEVATION
- MIN MINIMUM
- RR RETURN REGISTER
- RA RETURN AIR
- TYP TYPICAL
- UNO UNLESS OTHERWISE NOTED
- UTR UP THRU ROOF
- VD VOLUME DAMPER

**GENERAL NOTES**

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. THE WORK SHALL INCLUDE ALL DEMOLITION, FURNISHING AND INSTALLING ALL HEATING, AIR CONDITIONING, VENTILATION, PLUMBING, AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.</li> <li>2. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS, SPECIFICATIONS, AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING A BID. WAIVER OF RESPONSIBILITY OR REQUEST FOR ADDITIONAL PAYMENT BASED ON LACK OF KNOWLEDGE OF CONDITIONS AT THE SITE WILL NOT BE ACCEPTED OR CONSIDERED.</li> <li>3. PRIOR TO FABRICATION OF DUCTWORK, THIS CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. IF DUCTS CANNOT BE INSTALLED AS SHOWN ON THE DRAWINGS, THIS CONTRACTOR SHALL NOTIFY THE OWNER'S ARCHITECT IMMEDIATELY. ANY EXTRA OR DEDUCT NECESSITATED BY THE ABOVE CONDITION SHALL BE SUBMITTED TO THE OWNER'S ARCHITECT IN WRITING PRIOR TO THE CONTINUATION OF THE WORK.</li> <li>4. ALL THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE EDITIONS OF THE INTERNATIONAL MECHANICAL CODE, AND ALL LOCAL CODES AND REGULATIONS. WHERE ANY PORTIONS OF THE SYSTEMS SHOWN ON THE DRAWINGS IS NOT IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS OR CODES, THIS CONTRACTOR SHALL MAKE ALL CHANGES REQUIRED BY THE ENFORCING AUTHORITIES IN A MANNER APPROVED BY THE ENGINEER AND AT NO ADDITIONAL COST TO THE OWNER.</li> <li>5. THE CONTRACTOR SHALL ORDER AND OBTAIN ALL NECESSARY TESTS, PERMITS AND CERTIFICATES OF APPROVAL AND PAY ANY REQUIRED FEES FOR SAME.</li> <li>6. WORK SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE BY PERSONS OR WEATHER AND ALL DAMAGED WORK RESTORED TO A NEW CONDITION BEFORE FINAL ACCEPTANCE.</li> <li>7. IF DURING CONSTRUCTION, ANY HAZARDOUS MATERIALS ARE ENCOUNTERED SUCH AS LEAD, ASBESTOS, ETC., THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL AUTHORIZED TO DO SO, IN WRITING, BY THE OWNER.</li> <li>8. THIS CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH THE GENERAL CONTRACTOR FOR THE EXACT LOCATION OF CHASES, FURRING SPACES, DROPPED CEILINGS, STRUCTURE PENETRATIONS, PAINTING, ETC.</li> <li>9. EXAMINE ALL SERVICES, EQUIPMENT, SURFACES ETC., WHICH THIS WORK IS IN ANY WAY DEPENDENT UPON. SHOULD THE CONTRACTOR DISCOVER ANY CONDITIONS WHICH WILL PREVENT FOLLOWING GOOD PRACTICE OR</li> </ol> | <ol style="list-style-type: none"> <li>10. THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION TO BE FREE FROM DEFECTS FOR ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTS OCCURRING DURING THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.</li> <li>11. ALL EQUIPMENT REQUIRING ELECTRIC POWER SHALL BE SUITED FOR USE WITH THE POWER TO BE SUPPLIED. ALL ELECTRICAL REQUIREMENTS SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR.</li> <li>12. ALL EQUIPMENT SHALL BE TESTED FOR PROPER OPERATION AND CORRECTED AS NECESSARY. TEST, ADJUST AND BALANCE ALL AIR SYSTEMS TO PROVIDE AIR QUANTITIES SHOWN ON THE FLOOR PLANS AND PREPARE BALANCING REPORTS. TESTING, BALANCING AND BALANCING REPORTS SHALL BE IN ACCORDANCE WITH PROCEDURES OUTLINED BY THE AABC OR THE NEBB. TESTING &amp; BALANCING SHALL BE PERFORMED BY A CERTIFIED BALANCING CONTRACTOR EITHER WITH AABC OR NEBB.</li> <li>13. CONTRACTOR SHALL INSTRUCT THE OWNER IN THE OPERATION AND MAINTENANCE OF ALL COMPONENTS OF THE INSTALLATION.</li> </ol> |
|--|---|

**GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION**

13611 ROBET RD,  
SILVER SPRING, MD 20904  
**SPECIFICATIONS, SYMBOLS & ABBREVIATIONS**

PROJECT NO.	24-005
DRAWN BY	A.R.S.
REVIEWED BY	C.A.

PROJECT ISSUE DATE	
REV.	DATE
△	02/27/2024
	03/04/2024

DRAWING STAMP

SHEET NUMBER

M000

OWNER



DIVISION OF CONSTRUCTION  
45 W. GUDE DRIVE, 4<sup>th</sup> FLOOR  
ROCKVILLE, MD 20850



CERTIFICATION BLOCK

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland.

License Number: 12404

Expiration Date:  
April 12, 2025

**GREENCASTLE ELEMENTARY  
SCHOOL ELEVATOR MODERNIZATION**

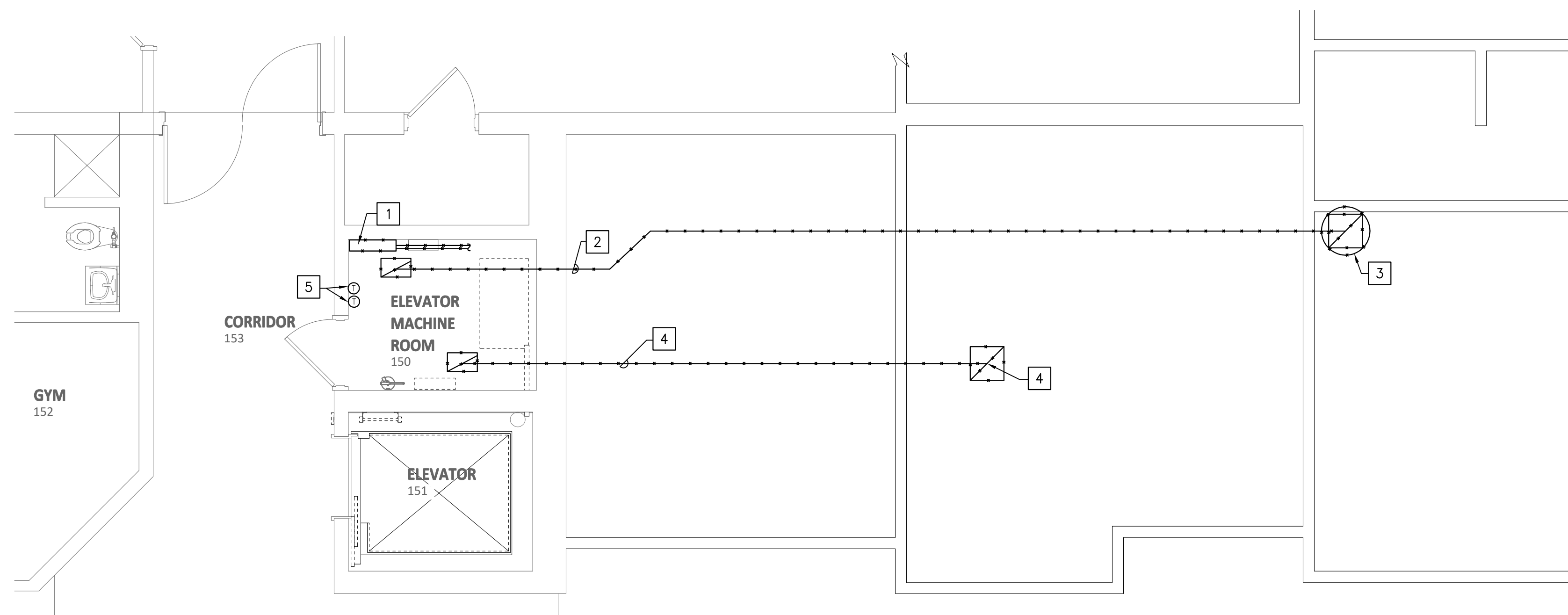
13611 ROBEBY RD.  
SILVER SPRING, MD 20904  
**ELEVATOR - DEMO AND  
NEW WORK FLOOR PLANS**

PROJECT NO.	24-005
DRAWN BY	A.R.S.
REVIEWED BY	C.A.

REV.	ISSUE:	DATE
	PERMIT SET	02/27/2024
	BID SET	03/04/2024

DRAWING STAMP

SHEET NUMBER  
**M100**



**PARTIAL GROUND LEVEL - DEMOLITION ELEVATOR**

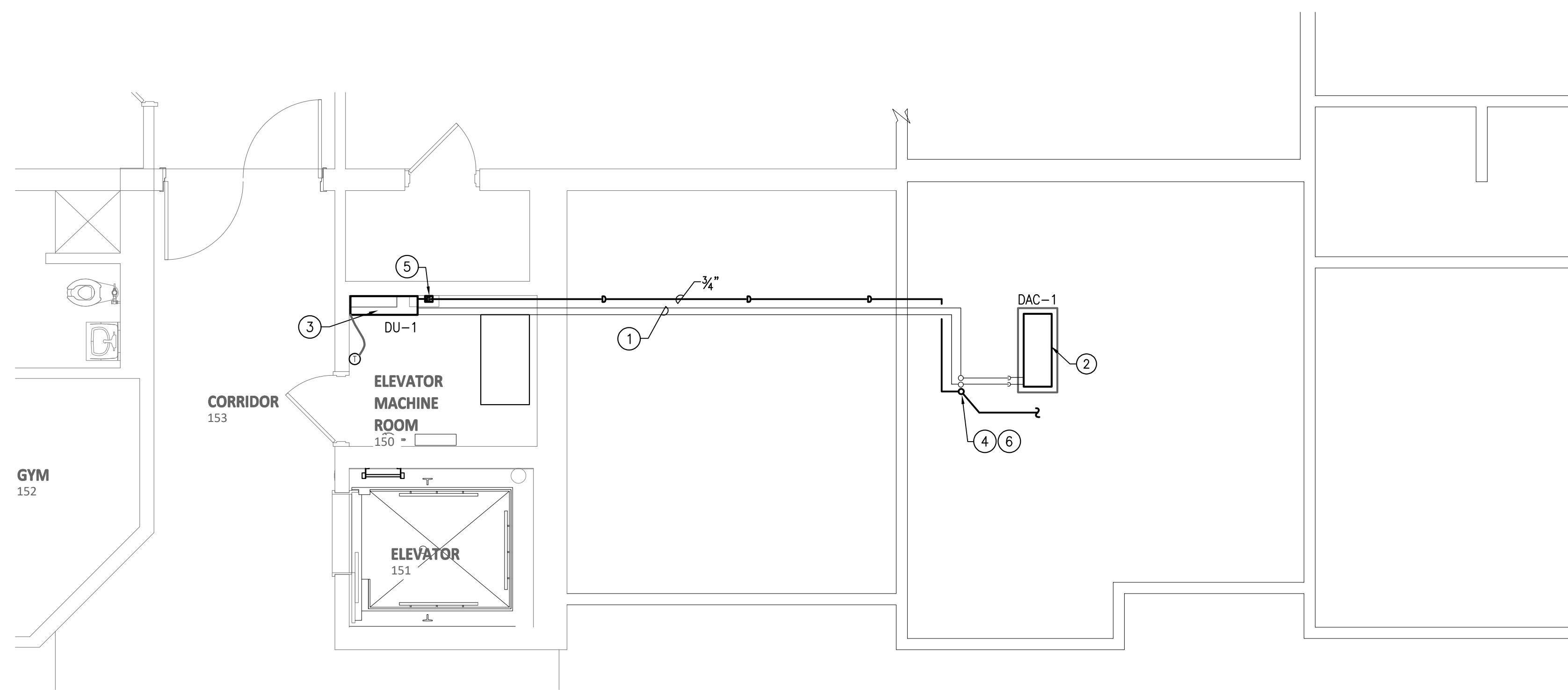
SCALE: 1/4"=1'-0"

**GENERAL NOTES: DEMOLITION**

1. ALL WORK SHOWN ON THIS PLAN IS EXISTING AND TO REMAIN UNLESS OTHERWISE INDICATED.
2. LOCATION OF EXISTING DUCTWORK, AIR DEVICES, PIPING AND AIR HVAC EQUIPMENT WERE TAKEN FROM EXISTING DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF LOCATION, ELEVATIONS, AND SIZES DURING CONSTRUCTION.

**REFERENCE NOTES: DEMOLITION**

- 1 REMOVE CABINET HEATER ALONG WITH ALL ASSOCIATED, WIRING BACK TO SOURCE, DISCONNECTS, SUPPORTS, CONTROLS, THERMOSTAT, PIPING ETC. EXISTING WATER PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED.
- 2 REMOVE EXISTING DUCT AND GRILLES UP TO EXHAUST FAN ON ROOF.
- 3 REMOVE FAN ON ROOF AND ALL ASSOCIATED DUCTWORK, WIRING, CONTROLS, SUPPORT, ETC. PATCH ROOF OPENING TO MATCH EXISTING.
- 4 REMOVE EXISTING DUCT AND GRILLES UP TO WATERPROOF ROOF CAP ON ROOF. ROOF OPENING TO BE PARTIALLY RE-USED PATCH REMAINDER OF ROOF OPENING TO MATCH EXISTING.
- 5 REMOVE EXISTING THERMOSTAT'S



**PARTIAL GROUND LEVEL - NEW WORK ELEVATOR**

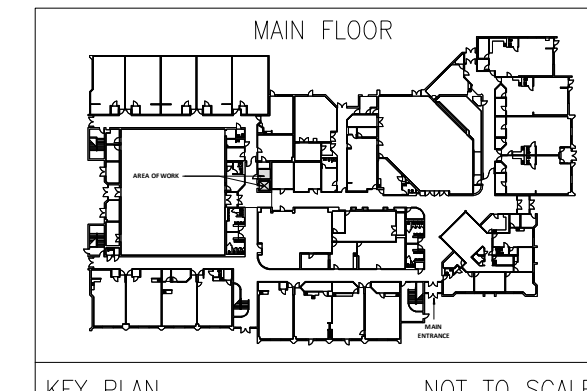
SCALE: 1/4"=1'-0"

**GENERAL NEW WORK NOTES:**

1. ALL WORK SHOWN ON NEW WORK PLAN(S) IS NEW UNLESS OTHERWISE INDICATED AS EXISTING.

**REFERENCE NOTES: NEW WORK**

- 1 INSTALL REFRIGERANT PIPES ABOVE CEILING AS REQUIRED TO CONNECT TO OUTDOOR UNIT. FIELD COORDINATE EXACT ROUTING.
- 2 OUTDOOR UNIT ON ROOF, MOUNTED PER DETAIL. FIELD COORDINATE EXACT LOCATION.
- 3 FIELD COORDINATE EXACT UNIT LOCATION WITH ELEVATOR INSTALLER.
- 4 3/4" CONDENSATE DRAIN PIPE UP THROUGH ROOF. EXTEND TO NEAREST ROOF DRAIN AND SPILL OVER DRAIN. PITCH PIPE 2% TOWARD DRAIN.
- 5 CONDENSATE PUMP BY LITTLE GIANT MODEL VCMA-15ULST. 60 WATTS MOTOR AT 115VOLTS/1PH/60HZ.
- 6 REFRIGERANT PIPES UP THROUGH EXISTING ROOF OPENING. PATCH ROOF OPENING TO MATCH EXISTING.



KEY PLAN NOT TO SCALE

**DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE**

INDOOR AIR HANDLING UNIT													OUTDOOR HEAT PUMP													
SYSTEM TYPE	TOTAL C.F.M.	ESP. (IN. WG.)	COOLING CAPACITY		HEATING CAPACITY AT 17' OUTDOORS (MBH)	ELECTRICAL CHARACTERISTICS					MFR.	MODEL NO	UNIT WEIGHT (LBS)	REMARKS	UNIT TYPE	NOM. TON.	ELECTRICAL CHARACTERISTICS							MODEL NO	MIN. SEER	UNIT WEIGHT (LBS)
			TOTAL (MBH)	SENSIBLE (MBH)		MIN. AMPS	MOTOR FLA	VOLT	PH	HZ							COMP.	FAN FLA	MCA	MAX FUSE	VOLT	PH	HZ			
DU-1	425	N.A.	18.0	16.0	13,600	1.0	0.76	120	NA	NA	mitsubishi	PKA-A18	30	WALL MOUNTED	DAC-1	1.5	DC INVERTER	0.5	15	20	208	1	60	PVZ-A18	21.0	100

- NOTES:
- 1) LOW AMBIENT CONTROLLER KIT TO 0°F
  - 2) WALL MOUNTED THERMOSTAT
  - 3) WALL MOUNTED SUPPORT BRACKETS.
  - 4) REFRIGERANT: R410A
  - 5) PROVIDE WITH CONDENSATE DRAIN REMOVAL PUMPS.
  - 6) SINGLE POINT ELECTRICAL CONNECTION
  - 7) INDOOR UNITS RECEIVE ELECTRICAL POWER FROM OUTDOOR UNITS THROUGH FIELD-SUPPLIED INTERCONNECTED WIRING.

**PIPING INSULATION SCHEDULE**

PIPE	THICKNESS	TYPE
REFRIGERANT PIPING	3/4"	FLEXIBLE CLOSED CELL ELASTOMERIC THERMAL INSULATION WITH A MAXIMUM WATER VAPOR PERMEABILITY OF 0.05 PERM-IN WITH A "K" FACTOR OF 0.245 OR LESS AT 75 F MEAN TEMPERATURE. K-FLEX NBR/PVC INSULATION LOCATED OUTDOORS SHALL BE CLADDED WITH WEATHER RESISTANCE COVERING, K-FLEX TITAN.

- NOTES:
1. INSULATION SHALL HAVE A FLAME SPREAD RATING NOT EXCEEDING 25 AND A SMOKE DEVELOPED RATING NOT EXCEEDING 50.
  2. INSTALL INSULATION IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  3. FOR PIPING OUTDOORS INSULATION SHALL BE PROTECTED WITH A WEATHER PROTECTION JACKET AS SPECIFIED.

**GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION**

13611 ROBETZ RD.  
 SILVER SPRING, MD 20904  
 SCHEDULES AND DETAILS

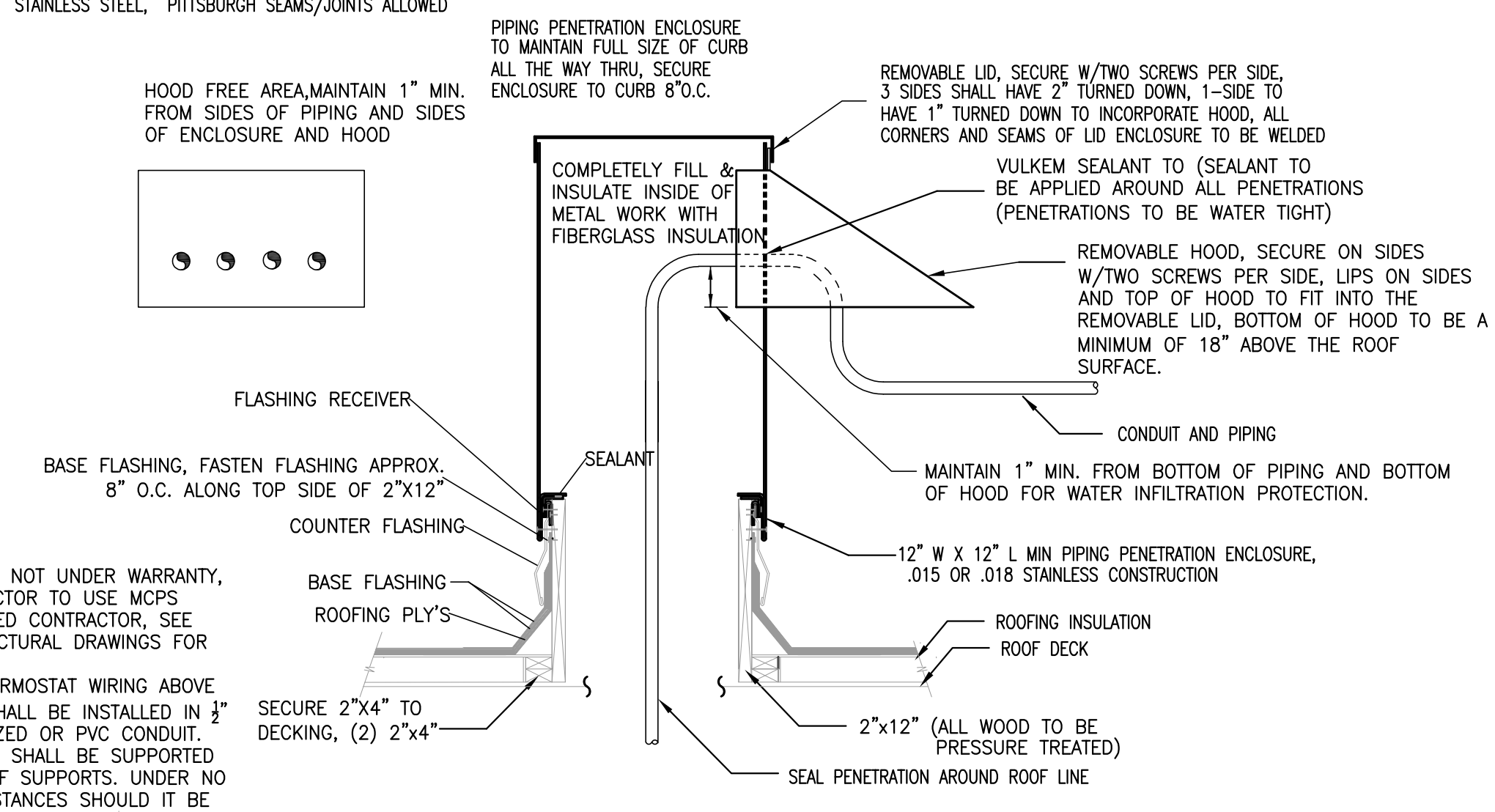
PROJECT NO.	24-005
DRAWN BY	A.R.S.
REVIEWED BY	C.A.

REV.	ISSUE:	DATE
	PERMIT SET	02/27/2024
	BID SET	03/04/2024

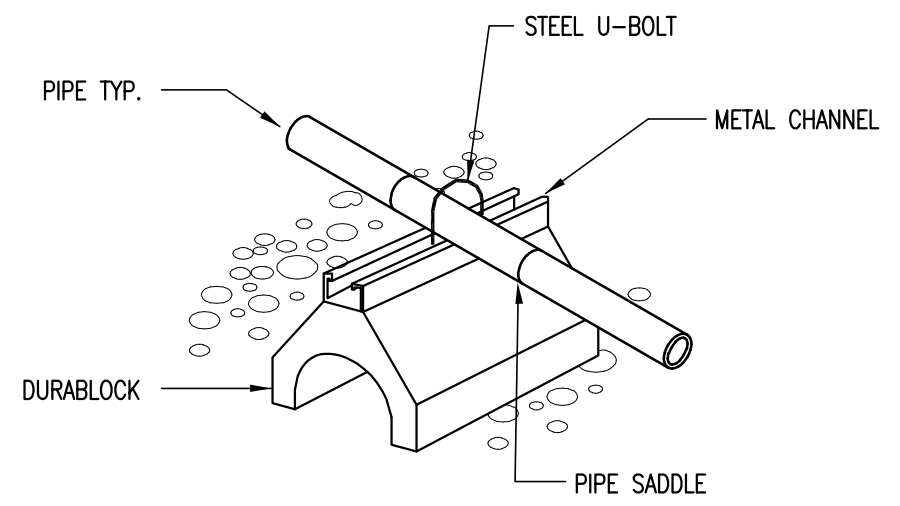
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**M300**

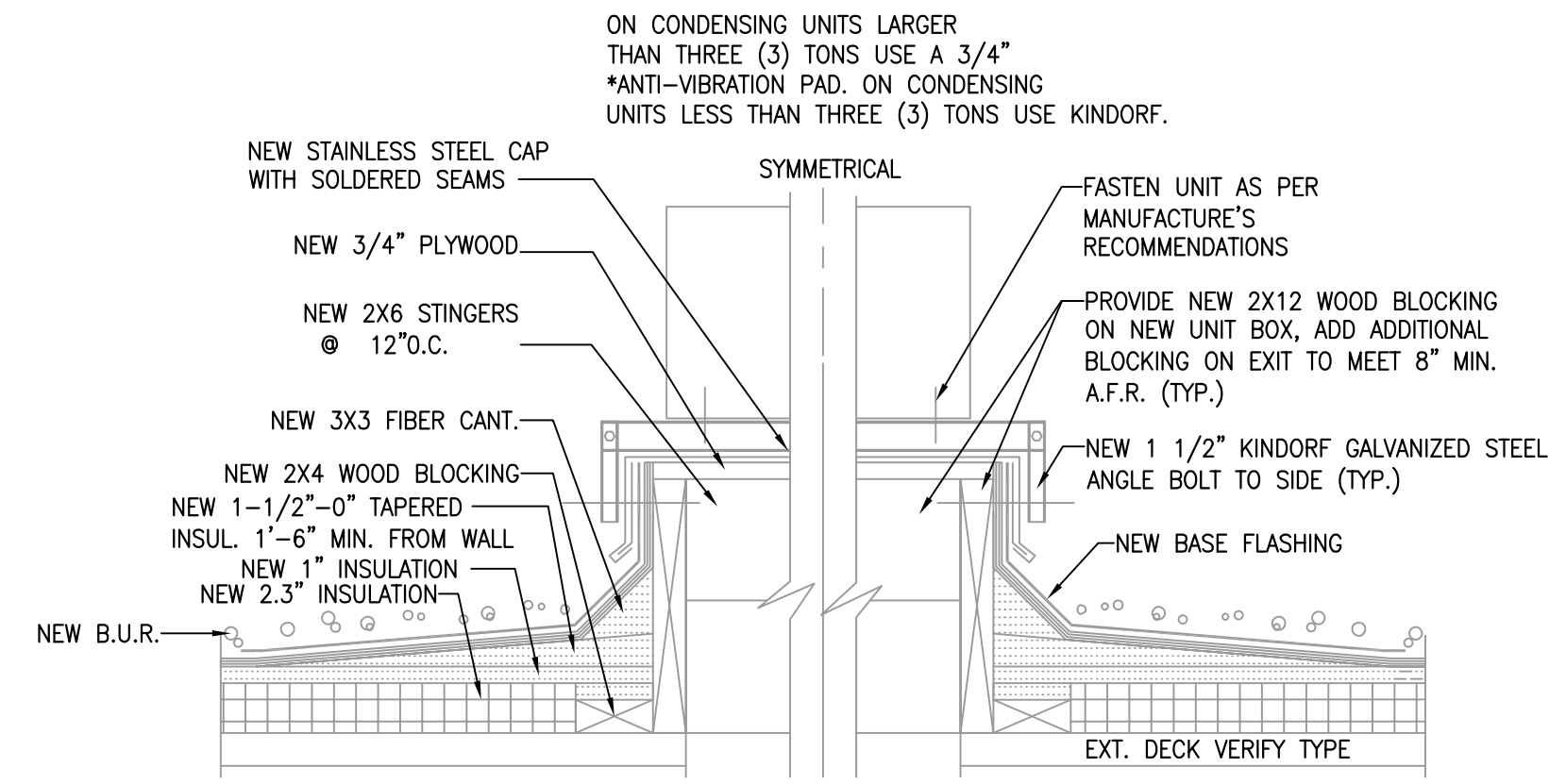
- INSULATE INSIDE OF METALWORK IN COLD CLIMATES
- ALL WELDS TO BE CONTINUOUS ( NO GAPS OR VOIDS)
- PIPING PENETRATION ENCLOSURE TO BE CONSTRUCTED OF STAINLESS STEEL, PITTSBURGH SEAMS/JOINTS ALLOWED



**CONDUIT AND PIPING THROUGH ROOF DECK DETAIL**  
NO SCALE



**ROOF PIPING SUPPORT DETAIL**  
NO SCALE



**TYPICAL A/C UNIT BOX**  
NO SCALE



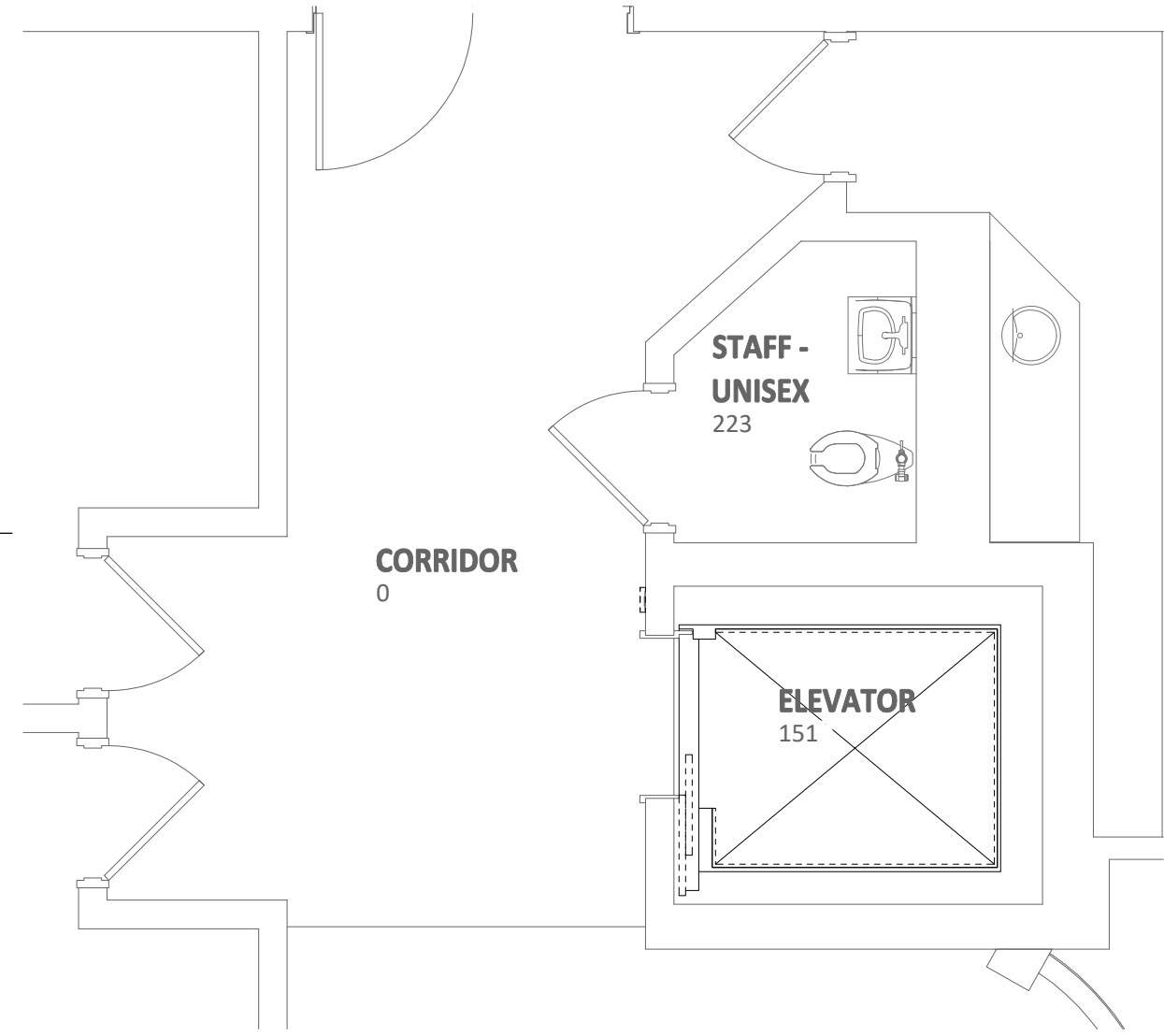


**GENERAL NOTES: DEMOLITION**

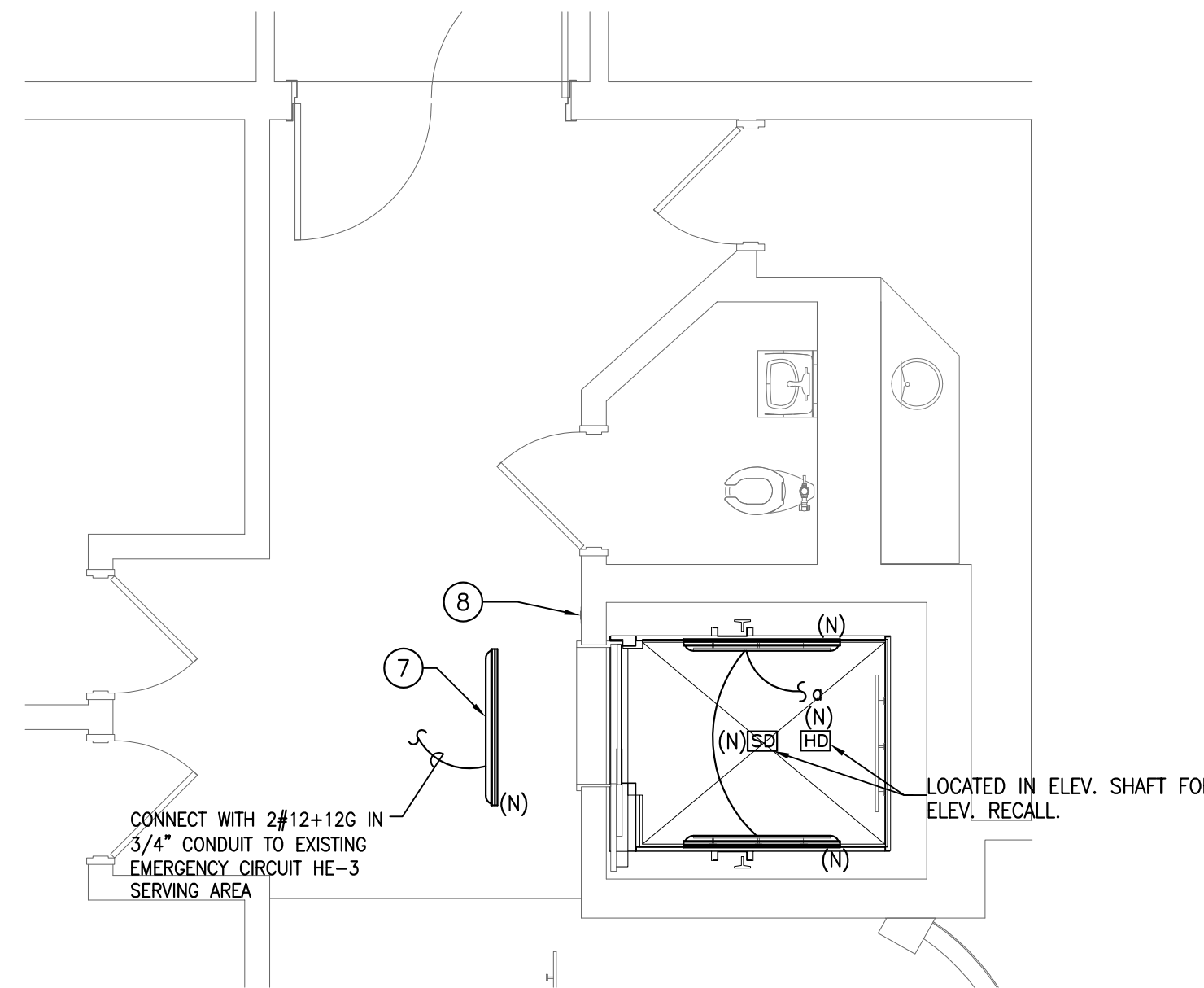
A. ALL WORK ON THIS PLAN IS EXISTING TO REMAIN UNLESS OTHERWISE INDICATED TO BE REMOVED.

**REFERENCE NOTES: DEMOLITION #**

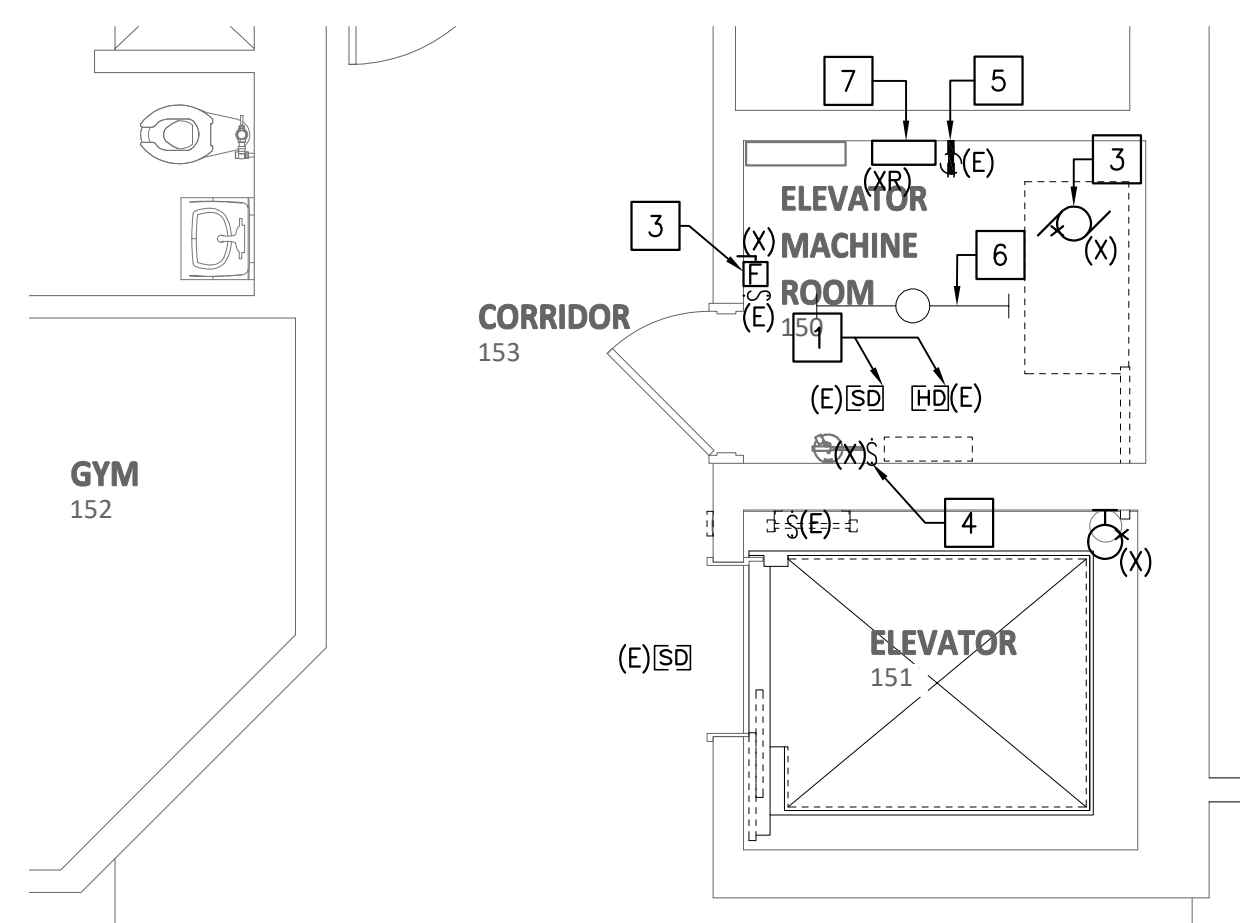
- EXISTING FIRE ALARM DEVICES SERVING ELEVATOR MACHINE ROOM, PIT/SHAFT ARE TO REMAIN.
- EXISTING ELEVATOR PIT LIGHT FIXTURE TO BE REMOVED. REMOVE WIRE/CONDUIT BACK TO SOURCE.
- EXISTING ELEVATOR MOTOR 30HP 480V 3Ø, 60HZ MOTOR AND REMOVE ALL ASSOCIATED DISCONNECT SWITCH, CONDUIT AND WIRING, ETC. BACK TO SOURCE. TO BE REPLACE WITH NEW SEE NEW WORK.
- EXISTING ELEVATOR LIGHT SWITCH SERVING ELEVATOR LIGHT TO BE REMOVED AND BRANCH CIRCUIT TO REMAIN.
- EXISTING RECEPTACLE TO REMAIN U.O.N.
- EXISTING LIGHT FIXTURE TO BE REMOVED. REMOVE WIRE/CONDUIT BACK TO SOURCE.
- REMOVE AND RELOCATE HYDRAULIC PANEL TO NEW LOCATION, SEE NEW WORK.



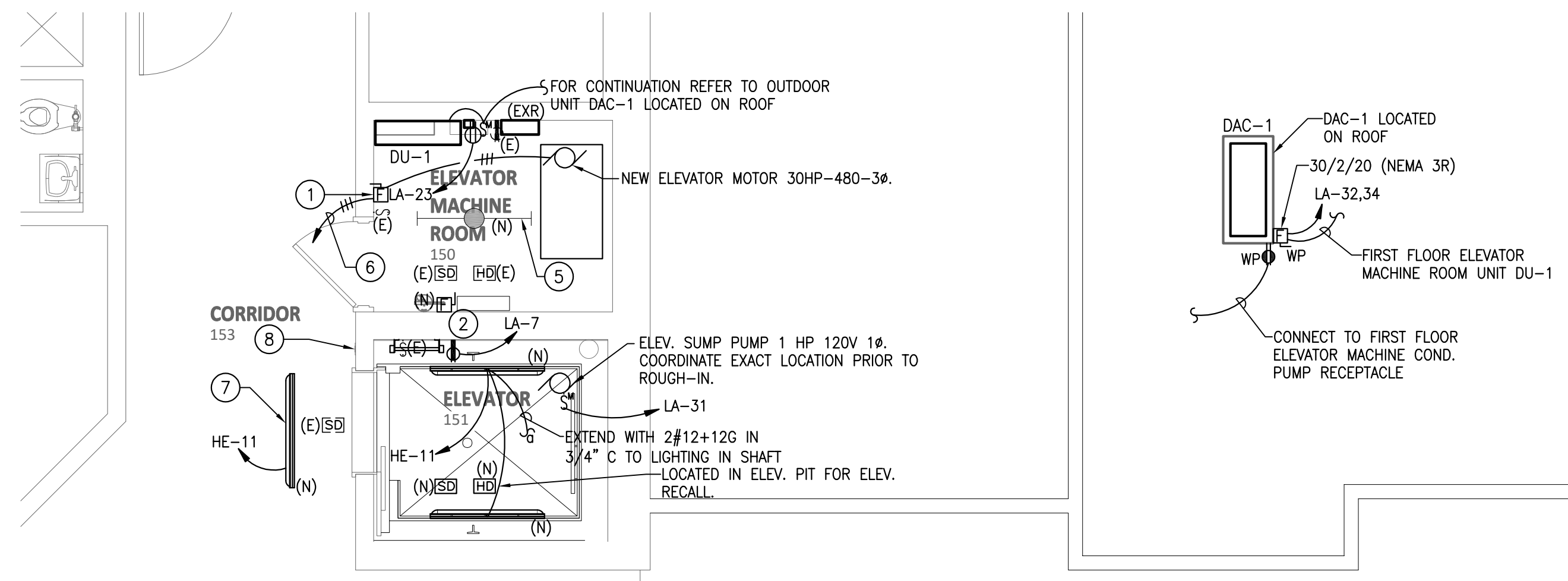
**DEMO 2ND FLOOR PLAN - ELEVATOR**  
SCALE: 1/4"=1'-0"



**NEW WORK 2ND FLOOR PLAN - ELEVATOR**  
SCALE: 1/4"=1'-0"



**DEMO GROUND FLOOR PLAN - ELEVATOR**  
SCALE: 1/4"=1'-0"



**NEW WORK GROUND FLOOR PLAN - ELEVATOR**  
SCALE: 1/4"=1'-0"

**GENERAL NOTES: NEW WORK**

A. ALL WORK ON THIS PLAN IS NEW UNLESS OTHERWISE INDICATED AS EXISTING.

- ELEVATOR: EMERGENCY BATTERY OPERATION LOWERING, A MECHANICAL AUXILIARY CONTACT SHALL BE INSTALLED ON THE DISCONNECT SWITCH FOR ELEV. CAP. THE AUXILIARY SHALL BE CONFIGURED AS SPST AT 1AMP 115V (MIN). THE AUXILIARY CONTACT SHALL BE OPEN WHEN THE DISCONNECT SWITCH IS IN THE OPEN POSITION. OF A SHUNT TRIP CIRCUIT BREAKER IS PROVIDED AN AUXILIARY CONTACT SHALL BE INSTALLED ON THE CIRCUIT BREAKER.
- ELEVATOR REQUIREMENTS MAY VARY FROM ONE MANUFACTURER TO ANOTHER. CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENT OF ELEVATOR TO BE INSTALLED PRIOR TO ROUGH-IN TO ENSURE PROPER OPERATION AND OVERCURRENT PROTECTION.
- PROVIDE NEW SHUNT-TRIP TYPE MAIN LINE DISCONNECT SWITCHES AND FUSES CAR LIGHTING DISCONNECT SWITCHES. PROVIDE REQUIRED GROUNDING CONDUCTOR IN EACH DISCONNECT SWITCH. PROVIDE POWER SUPPLY AND BRANCH CIRCUIT FOR MACHINE ROOM PUMPING UNIT OIL COOLER OR OIL HEATER.

**REFERENCE NOTES: NEW WORK #**

- PROVIDE 3P-100 AMP FUSED DISCONNECT SWITCH WITH 70 AMP DUAL ELEMENT TIME DELAY. FUSES SWITCH SHALL BE PROVIDED WITH PROVISION TO SEAL IN THE "OFF" POSITION, PROVIDE AUX DRY CONTACT.
- PROVIDE 1P+S/N 30 AMP FUSED DISCONNECT SWITCH WITH 20 AMP FUSE FOR ELEVATOR CAR FAN & LIGHT.
- NOT USED.
- PROVIDE MODIFICATIONS AND PROGRAMING OF THE BUILDING FIRE ALARM AND SMOKE DETECTOR SYSTEM AND ASSOCIATED DEVICES FOR ELEVATOR RECALL AND SHUNT TRIP OPERATION. AT THE PRESENT ALL EXISTING ELEVATOR RECALL SYSTEM SMOKE, HEAT DETECTOR IN THE ELEVATOR MACHINE ROOM, ELEVATOR PIT/SHAFT AND LOBBY ARE EXISTING TO REMAIN UON. THIS CONTRACTOR SHALL MODIFY IF SO REQUIRED BY NEW ELEVATOR REQUIREMENTS.
- PROVIDE NEW LED LIGHT FIXTURE FULLY ENCLOSED & GASKETED AT ELEVATOR PIT AND MACHINE ROOM LIGHT FIXTURE MANUFACTURER BY WILLIAMS CATALOG #96-4-L40-840-HIAFR-WEI/1-UNIV FOR ELEVATOR PIT PROVIDE PART #WMB OR PROVIDE SIMILAR LIGHT FIXTURE.
- RECONNECT BACK TO EXISTING PANEL BR-SECTION 2 600 AMP 277/480V 3Ø 4W EXIST. POSITION #13 TO EXIST. 3P-70 AMP CIRCUIT BREAKER W/BUILT-IN SHUNT-TRIP MECHANISM SERVING SAME AND CONNECT WITH 3/4"Ø IN 1 1/4" CONDUIT. REFER TO ELEVATOR NOTE ON THIS SHEET. EMERGENCY PANEL ARE UNDER WARRANTY BY AMBER ENTERPRISE. BIDDER SHOULD SEEK APPROVAL FROM AMBER, SO WARRANT IS NOT VOIDED.
- PROVIDE NEW RECESSED LED LIGHT FIXTURE MODEL MX4RG-2'00-L12-8-30-F-DRV-UNV MANUFACTURED BY WILLIAMS LIGHTING OR SIMILAR.
- CARD READER CONNECTION, RE-CONNECT TO EXISTING 120V RECEPTACLE CIRCUIT SERVING AREA WITH 2#12+12G IN 3/4" CONDUIT.

**COMcheck Software Version COMcheckWeb**  
**Interior Lighting Compliance Certificate**

**Project Information**

Energy Code: 2018 IECC  
Project Title: 24010-Greencastle ES-Elevator  
Project Type: Alteration

Construction Site: 13611 Robey Rd., Silver Spring, Maryland 20904  
Owner/Agent: [Blank]  
Designer/Contractor: [Blank]

**Allowed Interior Lighting Power**

A Area Category	B Floor Area (ft <sup>2</sup> )	C Allowed Watts / ft <sup>2</sup>	All W
1-Elev Pit, Shaft, Machine Rm & Corridor (School/University)	224	0.81	182
Total Allowed Watts =			182

**Proposed Interior Lighting Power**

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	A Lamps/ Fixture	B # of Fixture	C Fixture Watt.	D Total W
Elev Pit, Shaft, Machine Rm & Corridor (School/University, 224 sq.ft.)				
LED: LED: Other:	1	2	11	.22
LED: LED: Other:	1	5	30	.22
Total Proposed Watts =			41	0.22

**Interior Lighting PASSES**

**Interior Lighting Compliance Statement**

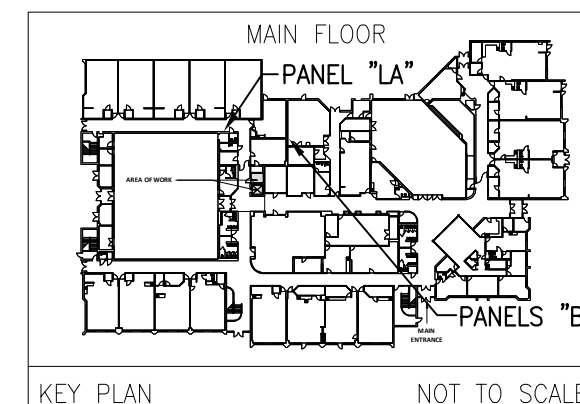
Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with applicable mandatory requirements listed in the Inspection Checklist.

Sandy Buitrago  
Name - Title: [Blank] Signature: [Blank] Date: 02/27/2024

Project Title: 24010-Greencastle ES-Elevator  
Data filename: [Blank]  
Report date: 02/27/24  
Page 2 of 8

**ELEVATOR NOTE:**

MONTGOMERY COUNTY PUBLIC SCHOOLS, DOES NOT REQUIRE THE ELEVATORS TO BE CONNECTED TO THE GENERATOR EMERGENCY OR STANDBY CIRCUITS WHEN THE ELEVATOR UNIT IS EQUIPPED WITH BATTERY POWERING LOWERING DEVICES. THE EXISTING ELEVATOR AS WELL AS THE NEW ELEVATOR ARE EQUIPPED WITH BATTERY POWERING LOWERING DEVICES, THEREFORE IT DOES NOT REQUIRE TO BE CONNECTED TO THE GENERATOR.



KEY PLAN NOT TO SCALE



**DIVISION OF CONSTRUCTION**  
45 W. GUDE DRIVE, 4<sup>th</sup> FLOOR  
ROCKVILLE, MD 20850



**CERTIFICATION BLOCK**

I certify that these documents were prepared and approved by me, and that I am a duly licensed engineer under the laws of the State of Maryland

License Number: 12404

Expiration Date: April 12, 2025

**GREENCASTLE ELEMENTARY SCHOOL ELEVATOR MODERNIZATION**

13611 ROBNEY RD., SILVER SPRING, MD 20904

**ELEVATOR -1 - DEMO AND NEW WORK FLOOR PLANS**

PROJECT NO.	24-005
DRAWN BY	E.J.C.
REVIEWED BY	R.C.

PROJECT ISSUE DATE

REV.	ISSUE:	DATE
	PERMIT SET	02/27/2024
	BID SET	03/04/2024

DRAWING STAMP

SHEET NUMBER

**E002**

